



CITY OF CLEVELAND
Mayor Justin M. Bibb

2025 City of Cleveland

Landmarks Commission

June 12th, 2025

Julie Trott, Commission Chair
Daniel Musson, Secretary





CITY OF CLEVELAND
Mayor Justin M. Bibb

Certificates of Appropriateness

June 12th, 2025



Case 25-035

Certificate of Appropriateness

Shaker Square Historic District

13500 Ardoon Avenue

Window Replacement

Project Representatives: Jeff Deatsch, Universal Windows Direct; Abby McConnaughy, Owner

Ward 4: Councilmember Gray





The McConaughy Residence

Aerial Images of Residence

Images not to Scale



The McConnaughy Residence

Street View of Residence

Images not to Scale



Front of Residence (North Facing)



East Side of Residence

The McConnaughy Residence

Images not to Scale



Rear of Residence (South Facing)



West Side of Residence

The McConnaughy Residence

Images not to Scale



Existing Window Conditions

The McConnaughy Residence

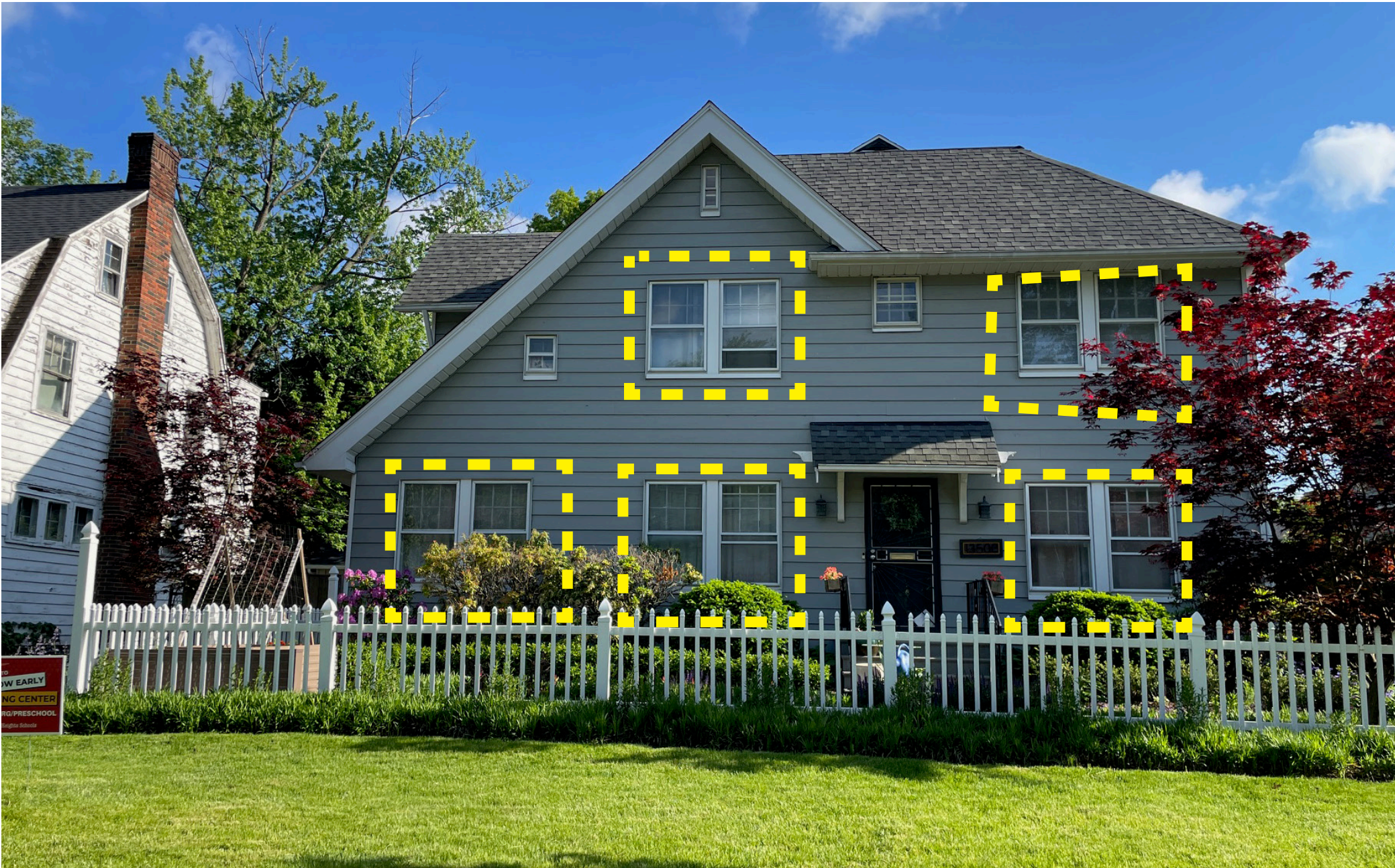
Images not to Scale



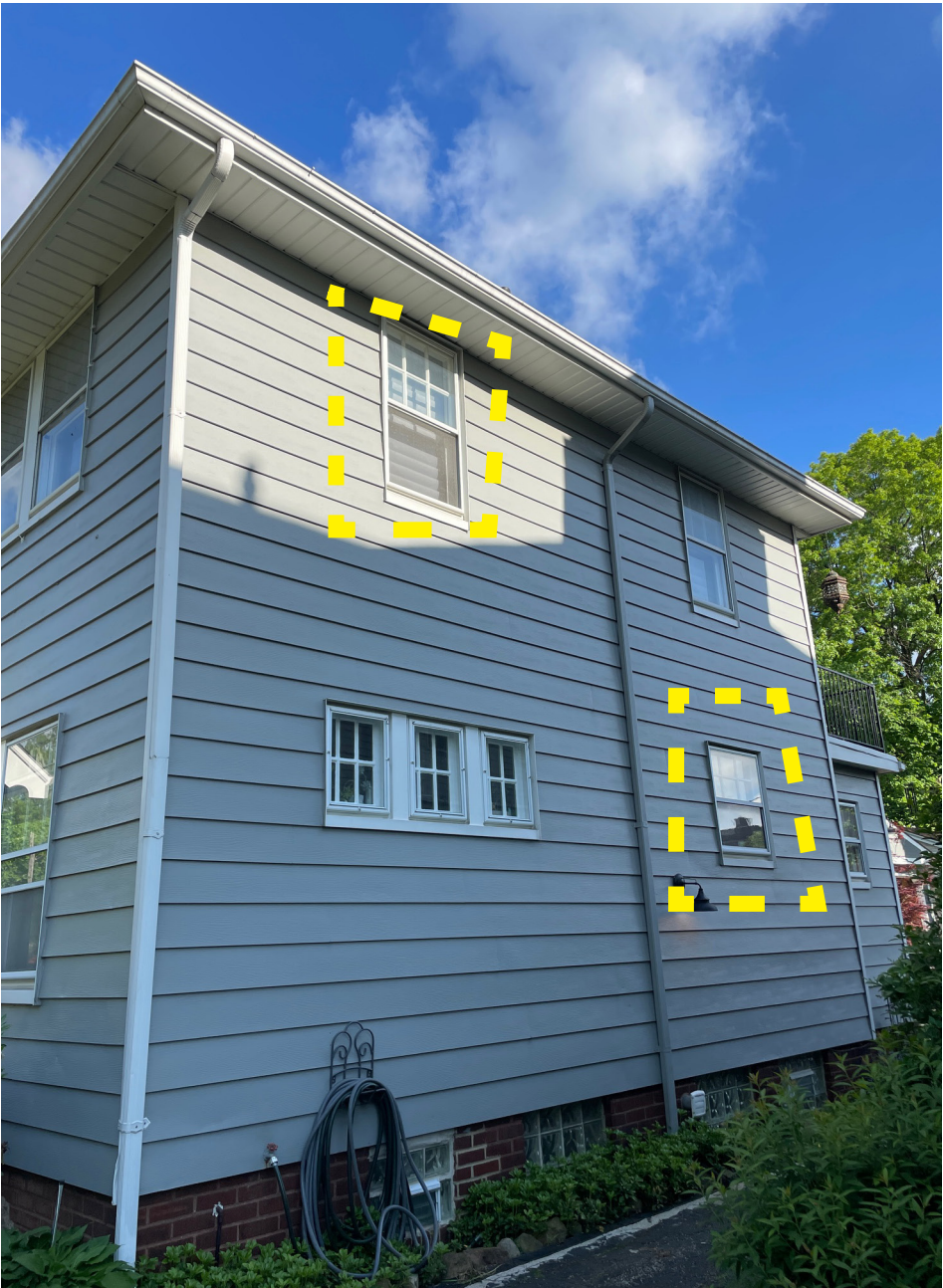
The McConnaughy Residence

Images not to Scale

Existing Window Conditions



Front of Residence (North Facing)
New White Double Hung Windows with
Upper Dividers to Match Existing



East Side of Residence
New White Double Hung Windows with
Upper Dividers to Match Existing

The McConnaughy Residence

Images not to Scale



Rear of Residence (South Facing)
New White Double Hung Windows with
Upper Dividers to Match Existing



West Side of Residence
New White Double Hung Windows with
Upper Dividers to Match Existing

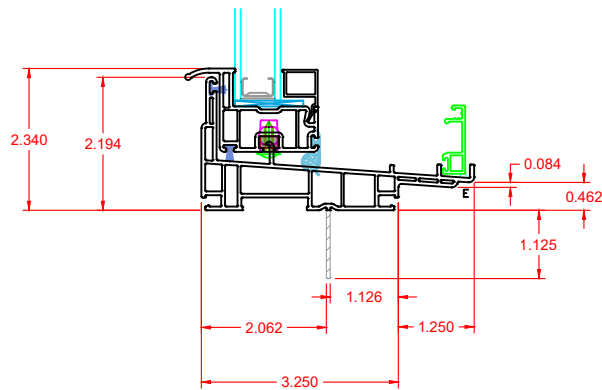
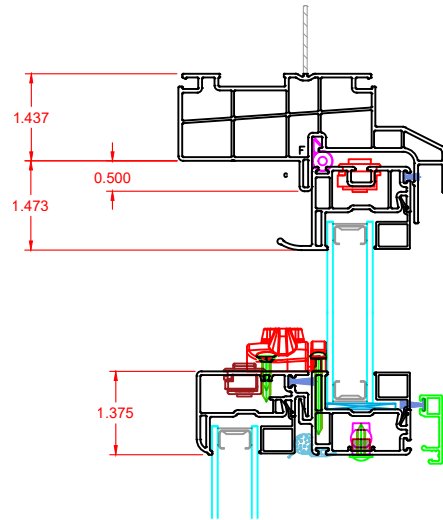
The McConnaughy Residence

Images not to Scale

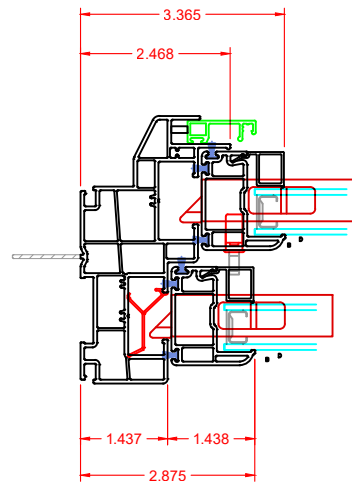
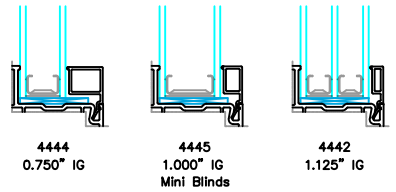
example of new window appearance.
All windows to be replaced "like for like."



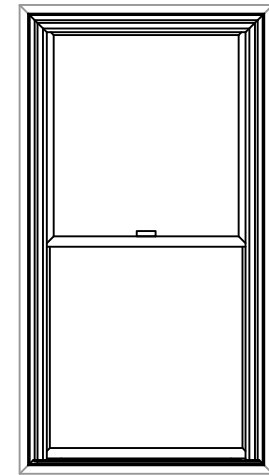
Series 7420 / 3120



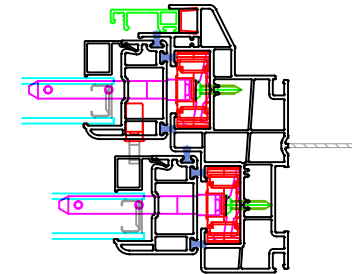
Vertical Section



Horizontal Section



Outside View
Scale .125x



Rev.:	Date:	Remarks:	Title: 7420/3120 Series TWP-Edge DH Sections	
E	08-17-2022	Upgraded sill, white 8-1-22 set	Drawing Name: 11/2016 Product 3120/7420-Edge DH Assembly Rev 01/2016	
F	10-19-2023	Head bulb was 12359	Date: 04-02-2014	Approved By: Tom Crish
	10-20-2023	Moved All sash down 0.035 in vertical for bulb	Die No.:	Print Approval Date: 11-11-2016
The information contained in this document or electronic media is sole property of Polaris Windows & Doors. Any use or reproduction without expressed written consent is strictly prohibited. Changes can be made without notice.			Scale: Full	Cut Approval Date:
			Mat'l:	
			Drawn By: Tom Crish	Production Approval Date:





Abby McConnaughy - MSR
 13500 Ardoon Ave
 Cleveland OH 44120
 4192069388
 jackson.1458@gmail.com

Date: 04/24/2025
 Tech: John Glista
 24801 Rockside Rd, Bedford Heights,
 OH 44146
 (440) 786-1400

NJ HIC 0450766458
 PA HIC PA149897
 MD HIC 109193

Additional Job Data

Job#	556029
Job Site Address	13500 Ardoon Ave Cleveland OH 44120
Layout	2 Story
Siding/Wall type	Aluminum
Tear-out type	Wood Common
Add Flat Stock?	No
Add J-channel?	No

Lumber/Wood

Lumber Type	NONE
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Additional materials / instructions

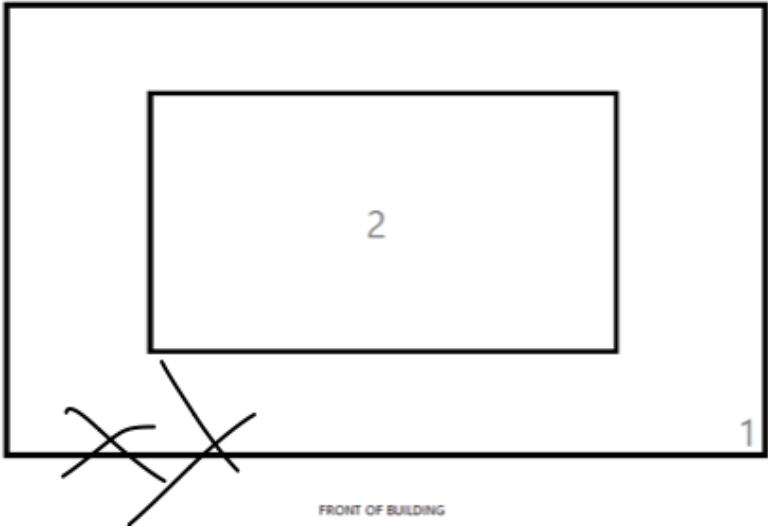
None

Capping

Capping Style	G8
Cap Color	Glacier White

Windows

TWP Double Hung	Quantity: 2		
	Style	TWP Double Hung	Location
	Size Category	84-93 UI	28 - Living Room
	Screen Style	Standard Full Screen	White Vinyl
	Obscured Glass	None	None/None
	Tempered Glass	None	Colonial Contoured Top
			Standard
Window Package	Plus Package - Double Pane Insulated Glass/Low-E Stacked/Argon/HeatStopper Foam/SuperSpacer (Lifetime Warranty)		
Measures			
Size	34 X 57 1/2		
UI	91.50		
Colonial Grids Pattern	1H / 2V		



TWP Double Hung

Quantity: 2



Style
Size Category
Screen Style
Obscured Glass
Tempered Glass

TWP Double Hung
84-93 UI
Standard Full Screen
None
None

Location
Vinyl Color
Int/Ext
Grids
Hardware

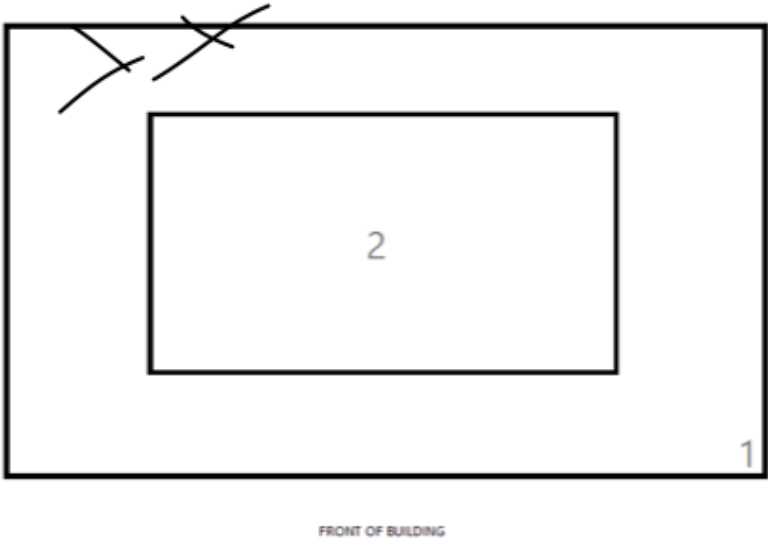
28 - Living Room
White Vinyl
None/None
Colonial Contoured Top
Standard


Window Package

Plus Package - Double Pane Insulated Glass/Low-E Stacked/Argon/HeatStopper Foam/SuperSpacer (Lifetime Warranty)

Measures

Size	28 X 57 1/2
UI	85.50
Colonial Grids Pattern	1H / 2V

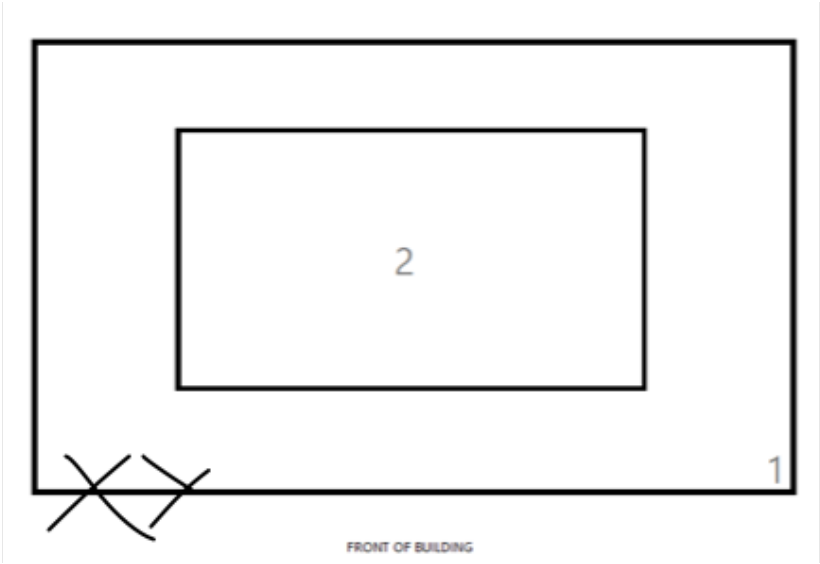


TWP Double Hung		Quantity: 2			
	Style	TWP Double Hung	Location	32 - Playroom	
	Size Category	84-93 UI	Vinyl Color	White Vinyl	
	Screen Style	Standard Full Screen	Int/Ext	None/None	
	Obscured Glass	None	Grids	Colonial Contoured Top	
	Tempered Glass	None	Hardware	Standard	


Window Package
Plus Package - Double Pane Insulated Glass/Low-E Stacked/Argon/HeatStopper Foam/SuperSpacer (Lifetime Warranty)

Measures

Size	34 X 57 1/2
UI	91.50
Colonial Grids Pattern	1H / 2V



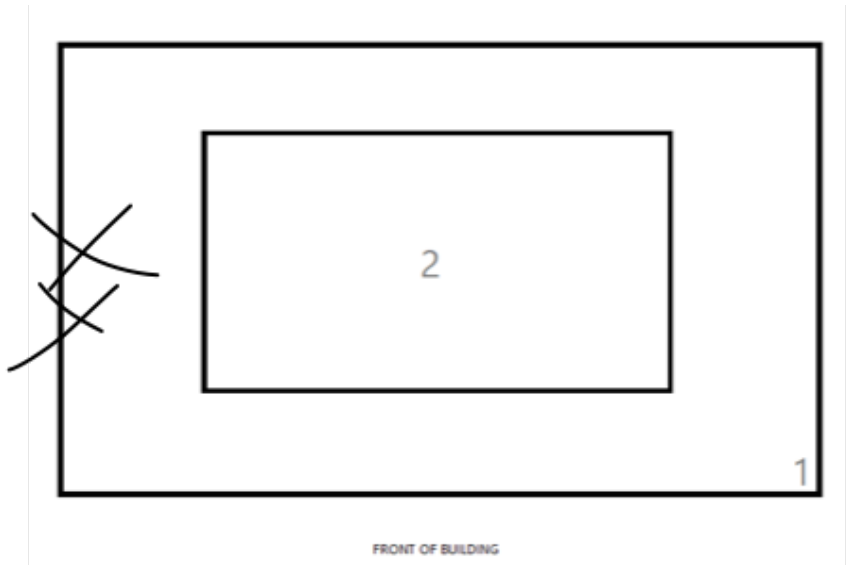
Notes **Match grid pattern exactly to what is currently.**

TWP Double Hung		Quantity: 2			
	Style	TWP Double Hung	Location	32 - Playroom	
	Size Category	84-93 UI	Vinyl Color	White Vinyl	
	Screen Style	Standard Full Screen	Int/Ext	None/None	
	Obscured Glass	None	Grids	Colonial Contoured Top	
	Tempered Glass	None	Hardware	Standard	

Window Package
Plus Package - Double Pane Insulated Glass/Low-E Stacked/Argon/HeatStopper Foam/SuperSpacer (Lifetime Warranty)

Measures

Size	30 X 57 1/2
UI	87.50
Colonial Grids Pattern	1H / 2V



Notes

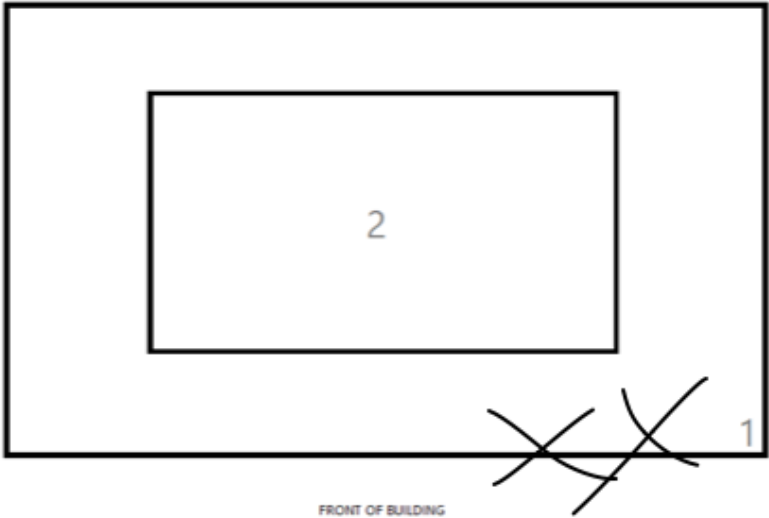
Match grid pattern exactly to what is currently.

TWP Double Hung		Quantity: 2			
	Style	TWP Double Hung	Location	16 - Dining Room	
	Size Category	84-93 UI	Vinyl Color	White Vinyl	
	Screen Style	Standard Full Screen	Int/Ext	None/None	
	Obscured Glass	None	Grids	Colonial Contoured Top	
	Tempered Glass	None	Hardware	Standard	

Window Package

Plus Package - Double Pane Insulated Glass/Low-E Stacked/Argon/HeatStopper Foam/SuperSpacer (Lifetime Warranty)

<u>Measures</u>		
Size		34 X 57 1/2
UI		91.50
Colonial Grids Pattern		1H / 2V



TWP Double Hung

Quantity: 1



Style
Size Category
Screen Style
Obscured Glass
Tempered Glass

TWP Double Hung
84-93 UI
Standard Full Screen
Standard OBS Full
Full

Location
Vinyl Color
Int/Ext
Grids
Hardware

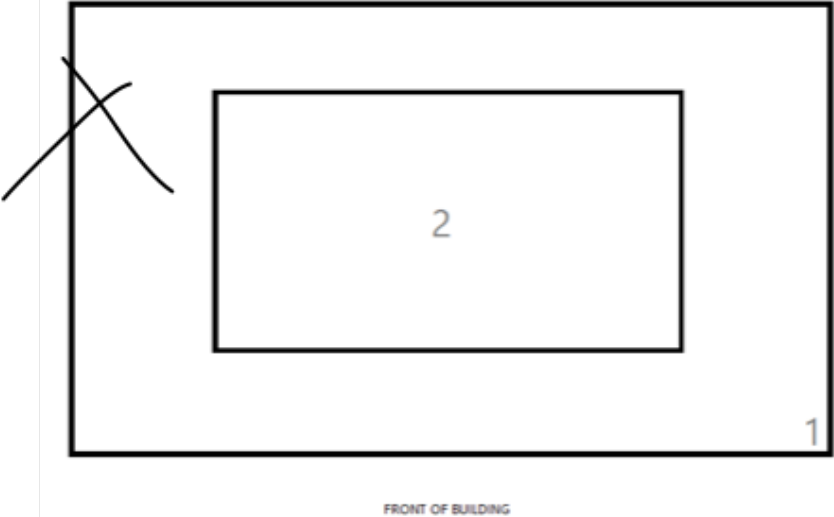
5 - Bathroom, Ground Floor
White Vinyl
None/None
Colonial Contoured Top
Standard

Window Package

Plus Package - Double Pane Insulated Glass/Low-E Stacked/Argon/HeatStopper Foam/SuperSpacer (Lifetime Warranty)

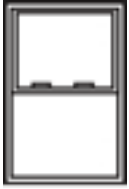
Measures

Size	34 X 57 1/2
UI	91.50
Colonial Grids Pattern	1H / 2V



TWP Double Hung

Quantity: 1



Style
Size Category
Screen Style
Obscured Glass
Tempered Glass

TWP Double Hung
64-73 UI
Standard Full Screen
None
None

Location
Vinyl Color
Int/Ext
Grids
Hardware

25 - Kitchen
White Vinyl
None/None
Colonial Contoured Top
Standard

Window Package

Plus Package - Double Pane Insulated Glass/Low-E Stacked/Argon/HeatStopper Foam/SuperSpacer (Lifetime Warranty)

Measures

Size

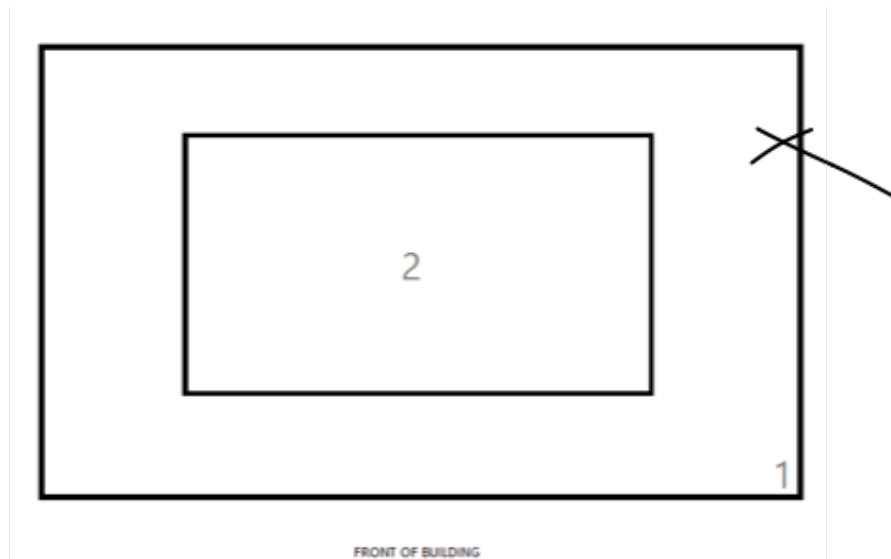
34 X 37 1/2

UI

71.50

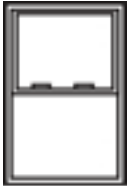
Colonial Grids Pattern

1H / 2V



TWP Double Hung

Quantity: 2



Style
Size Category
Screen Style
Obscured Glass
Tempered Glass

TWP Double Hung
84-93 UI
Standard Full Screen
None
None

Location
Vinyl Color
Int/Ext
Grids
Hardware

7 - Bedroom 1
White Vinyl
None/None
Colonial Contoured Top
Standard

Window Package

Plus Package - Double Pane Insulated Glass/Low-E Stacked/Argon/HeatStopper Foam/SuperSpacer (Lifetime Warranty)

Measures

Size

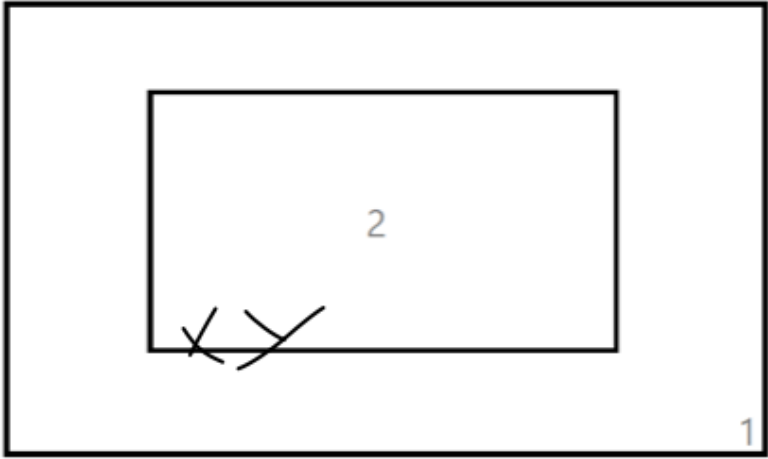
34 X 53 1/2

UI


87.50

Colonial Grids Pattern

1H / 2V



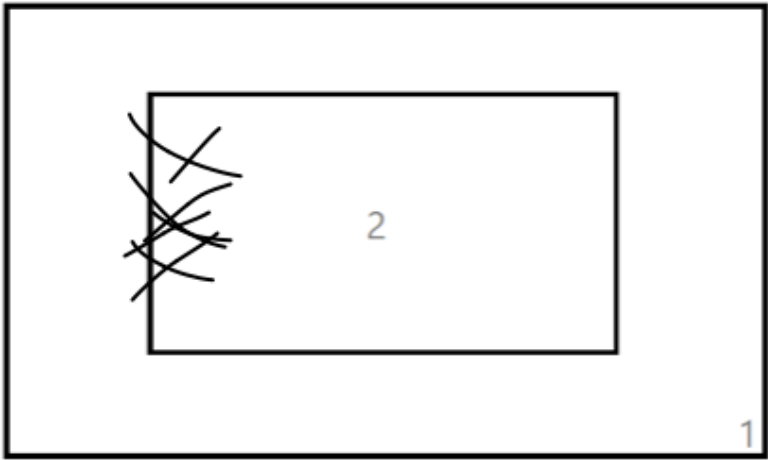
FRONT OF BUILDING

TWP Double Hung		Quantity: 3			
	Style	TWP Double Hung	Location	12 - Closet 1	
	Size Category	84-93 UI	Vinyl Color	White Vinyl	
	Screen Style	Standard Full Screen	Int/Ext	None/None	
	Obscured Glass	None	Grids	Colonial Contoured Top	
	Tempered Glass	None	Hardware	Standard	


Window Package
Plus Package - Double Pane Insulated Glass/Low-E Stacked/Argon/HeatStopper Foam/SuperSpacer (Lifetime Warranty)

Measures

Size	28 X 53 1/2
UI	81.50
Colonial Grids Pattern	1H / 2V



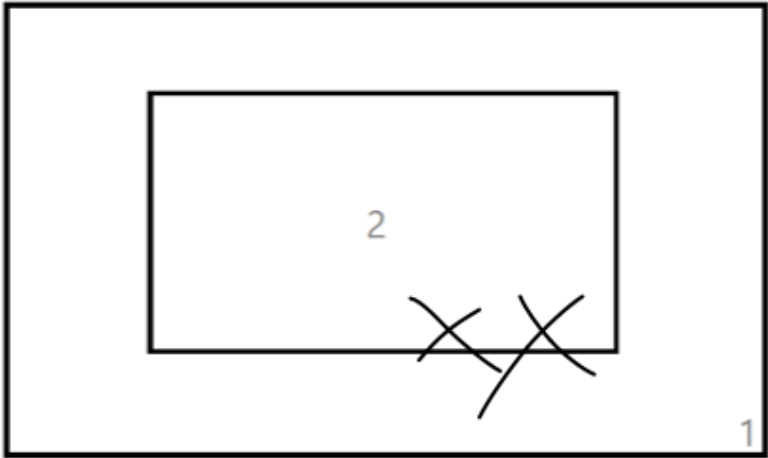
FRONT OF BUILDING

	TWP Double Hung	Quantity: 2			
	Style	TWP Double Hung	Location	8 - Bedroom 2	
	Size Category	84-93 UI	Vinyl Color	White Vinyl	
	Screen Style	Standard Full Screen	Int/Ext	None/None	
	Obscured Glass	None	Grids	Colonial Contoured Top	
	Tempered Glass	None	Hardware	Standard	


Window Package
Plus Package - Double Pane Insulated Glass/Low-E Stacked/Argon/HeatStopper Foam/SuperSpacer (Lifetime Warranty)

Measures

Size	34 X 53 1/2
UI	87.50
Colonial Grids Pattern	1H / 2V



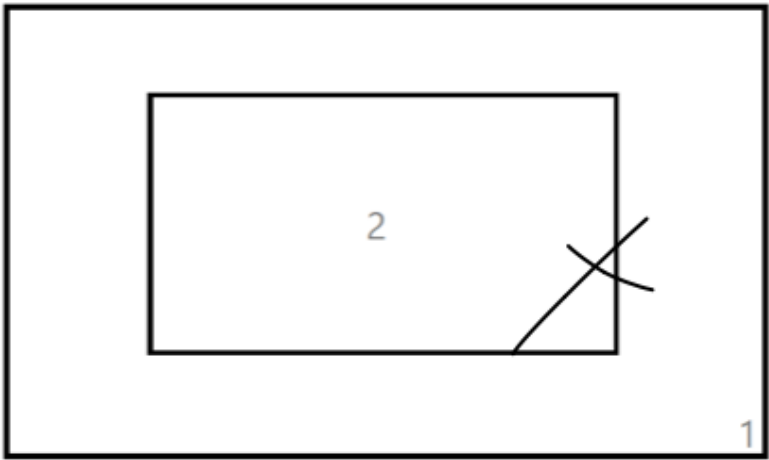
FRONT OF BUILDING

	TWP Double Hung	Quantity: 1			
	Style	TWP Double Hung	Location	8 - Bedroom 2	
	Size Category	84-93 UI	Vinyl Color	White Vinyl	
	Screen Style	Standard Full Screen	Int/Ext	None/None	
	Obscured Glass	None	Grids	Colonial Contoured Top	
	Tempered Glass	None	Hardware	Standard	

Window Package
Plus Package - Double Pane Insulated Glass/Low-E Stacked/Argon/HeatStopper Foam/SuperSpacer (Lifetime Warranty)

Measures

Size	30 X 53 1/2
UI	83.50
Colonial Grids Pattern	1H / 2V



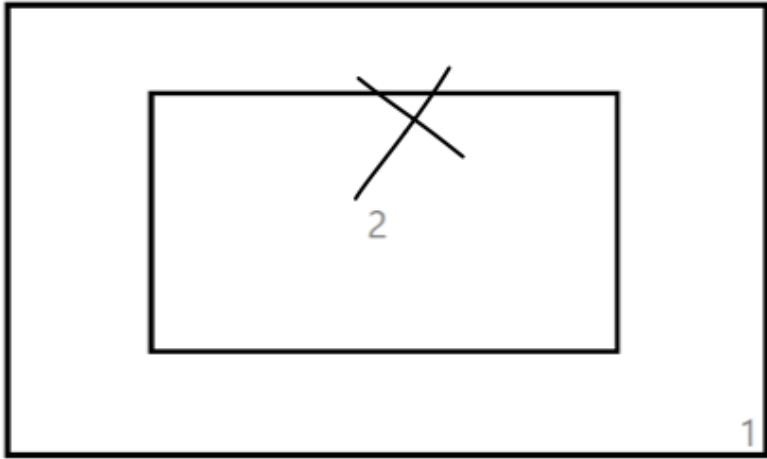
FRONT OF BUILDING

TWP Double Hung		Quantity: 1			
	Style	TWP Double Hung	Location	35 - Stairway 1	
	Size Category	84-93 UI	Vinyl Color	White Vinyl	
	Screen Style	Standard Full Screen	Int/Ext	None/None	
	Obscured Glass	None	Grids	Colonial Contoured Top	
	Tempered Glass	Full	Hardware	Standard	

Window Package
Plus Package - Double Pane Insulated Glass/Low-E Stacked/Argon/HeatStopper Foam/SuperSpacer (Lifetime Warranty)

Measures

Size	30 X 53 1/2
UI	83.50
Colonial Grids Pattern	1H / 2V



FRONT OF BUILDING

Did you save your estimate?

Answered: Yes

Did you result your estimate?

Answered: Yes

Required Photos









Conditions/Changes

Describe preexisting damage:	No preexisting damage.



John Glista

Abby McConnaughey - MSR

04/24/2025

04/24/2025

Date

Date

Case 25-036

Certificate of Appropriateness

Brooklyn Centre Historic District

Kerns Building 2604 Garden Avenue

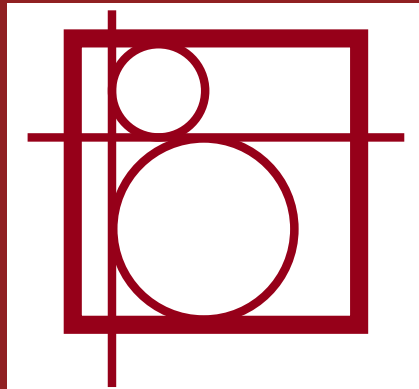
Rehabilitation

Project Representatives: Jill Brandt, Brandt Architecture

Ward 14: Councilmember Santana



KERNS ON PEARL



LOCATION: 3604 GARDEN AVE

NEIGHBORHOOD: OLD BROOKLYN

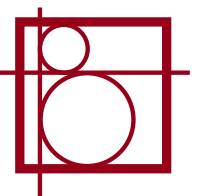
SCALE: 3 STORY COMMERCIAL

ZONING: MIXED COMMERCIAL

NUMBER OF LOTS: ONE

VARIANCES REQUESTED: NONE

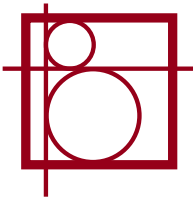
PROJECT SUMMARY





SITE

PARKING







PROPOSED SITE

PARKING REQUIREMENTS

KERNS INFO ONLY

TOTAL PARKING REQUIRED: 142 SPACES
 TOD PARKING REDUCTION (50%)= 71 SPACES
 TOTAL PROVIDED: 70 SPACES

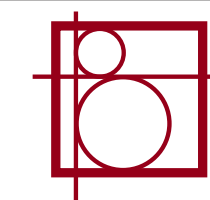
UPDATE

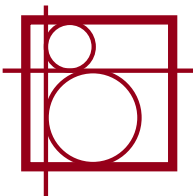
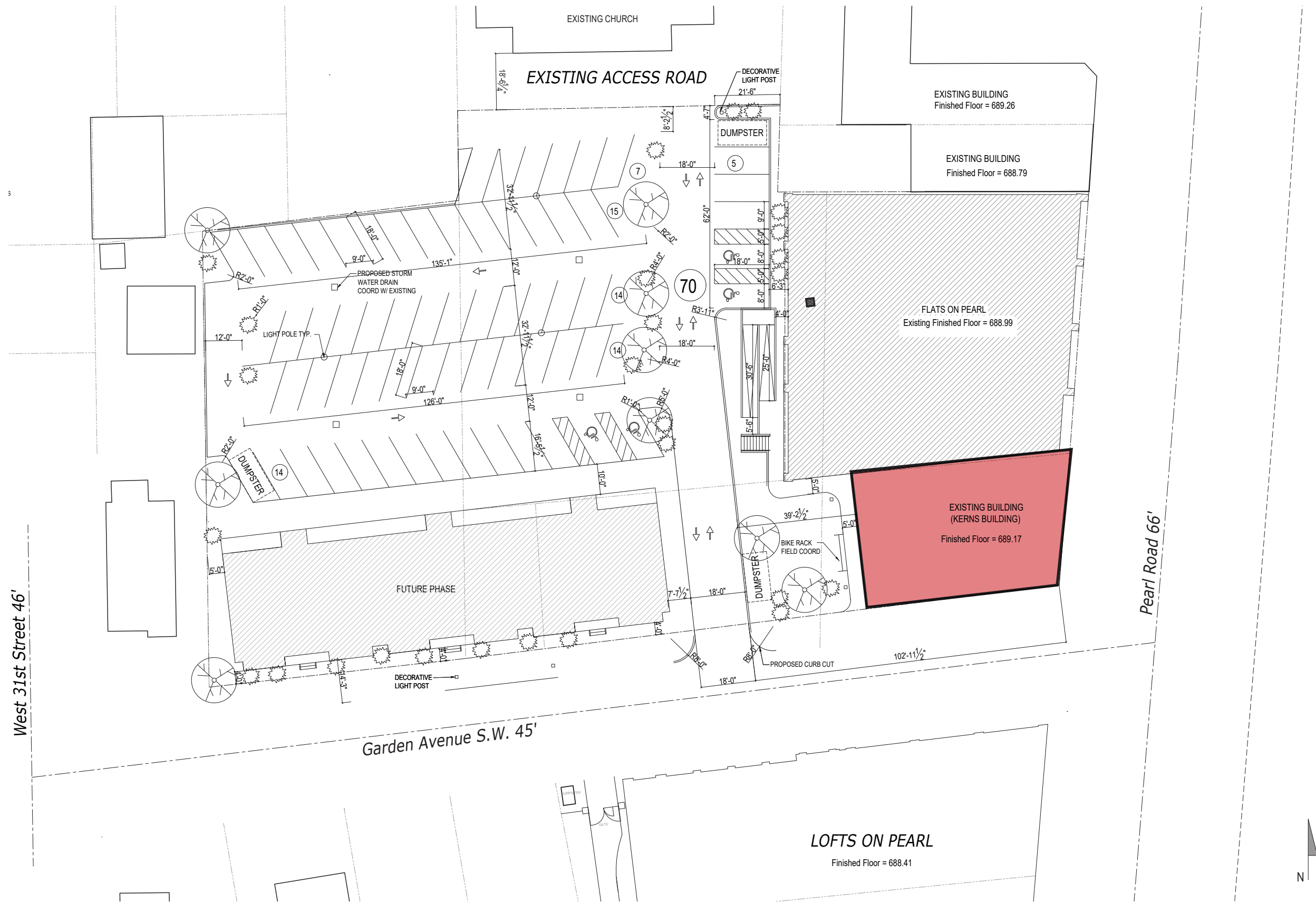


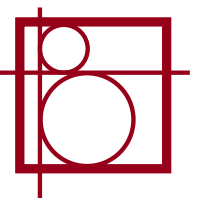
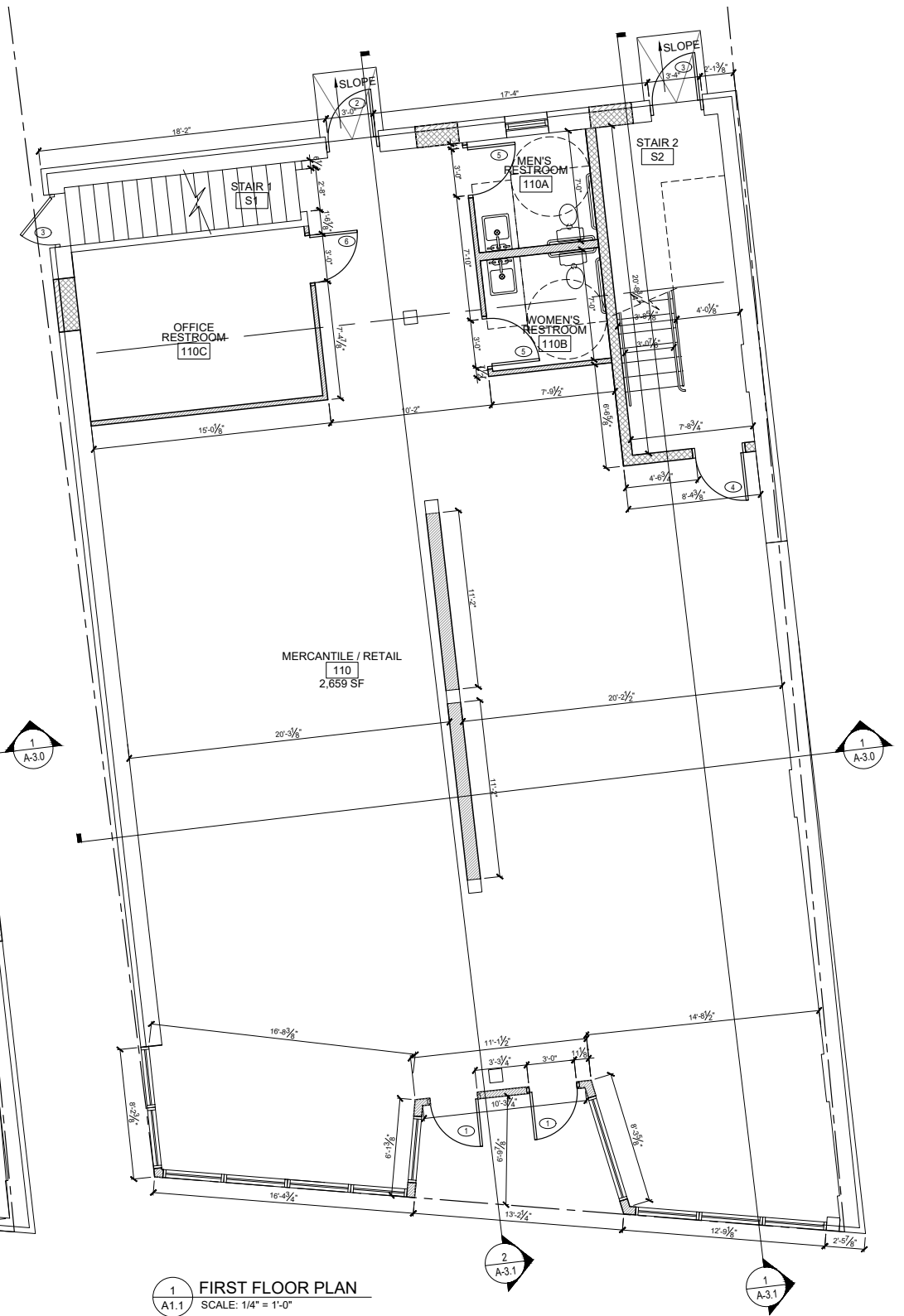
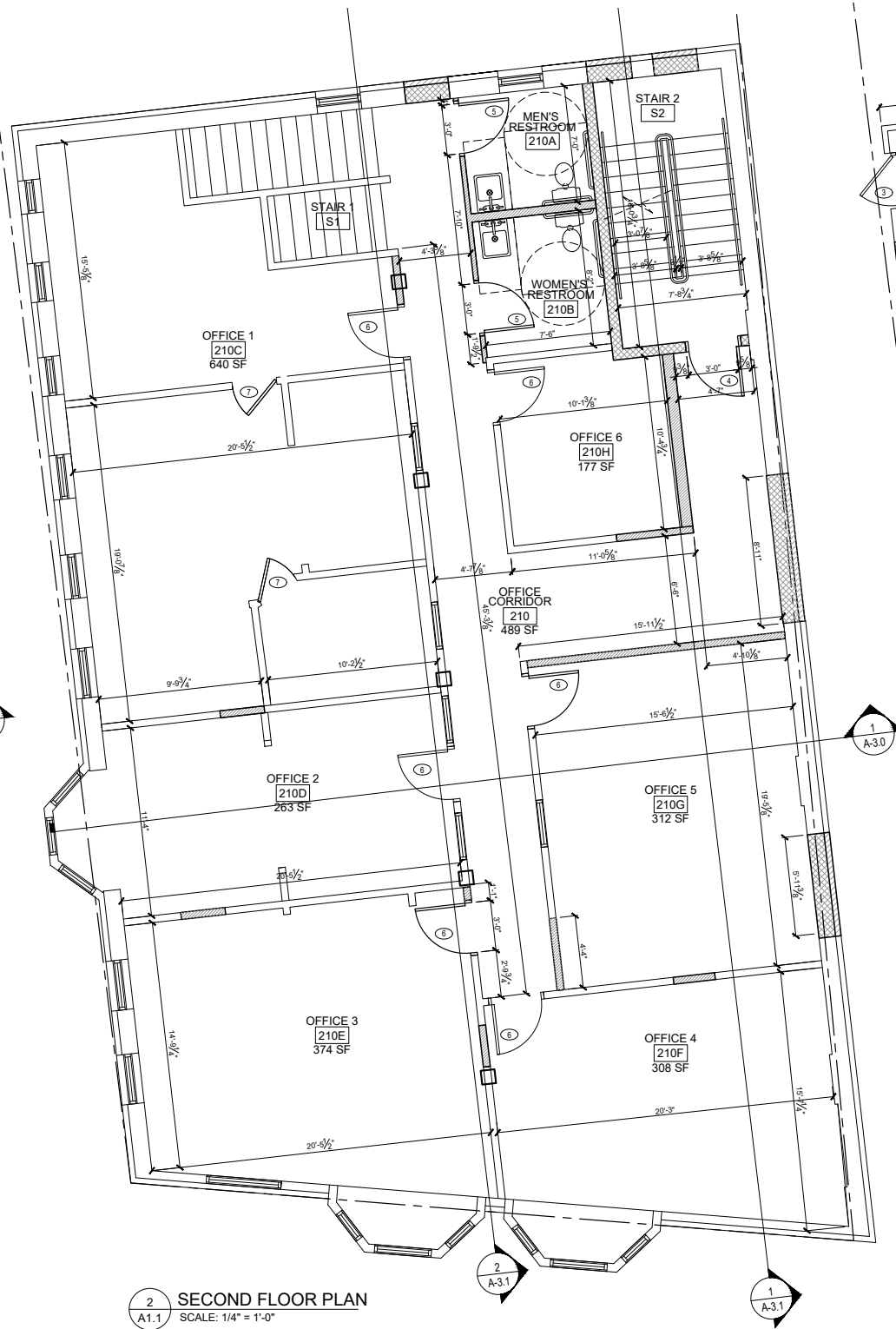
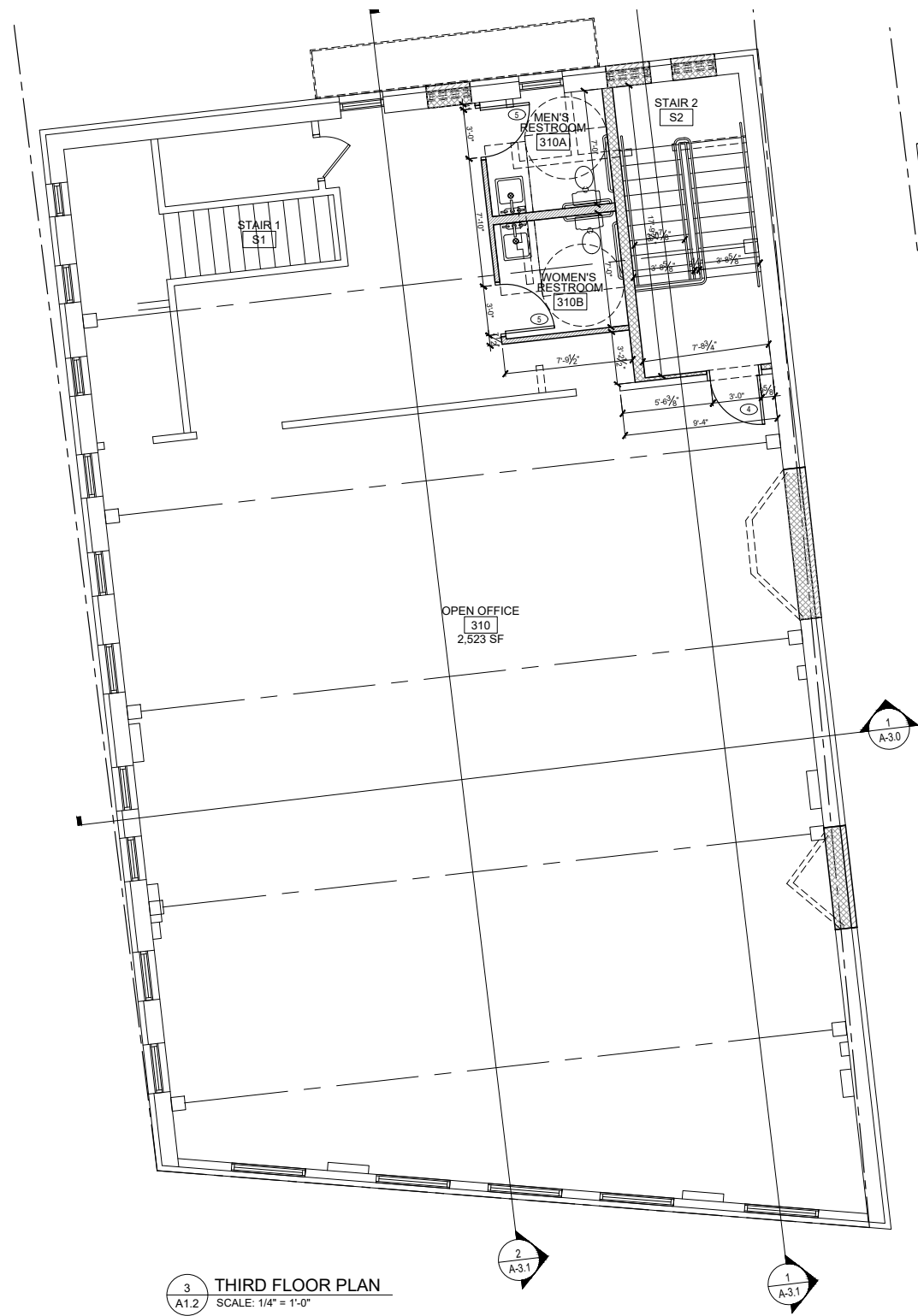
KERNS



FUTURE PHASE

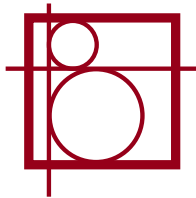








SCALE: NTS

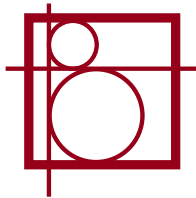
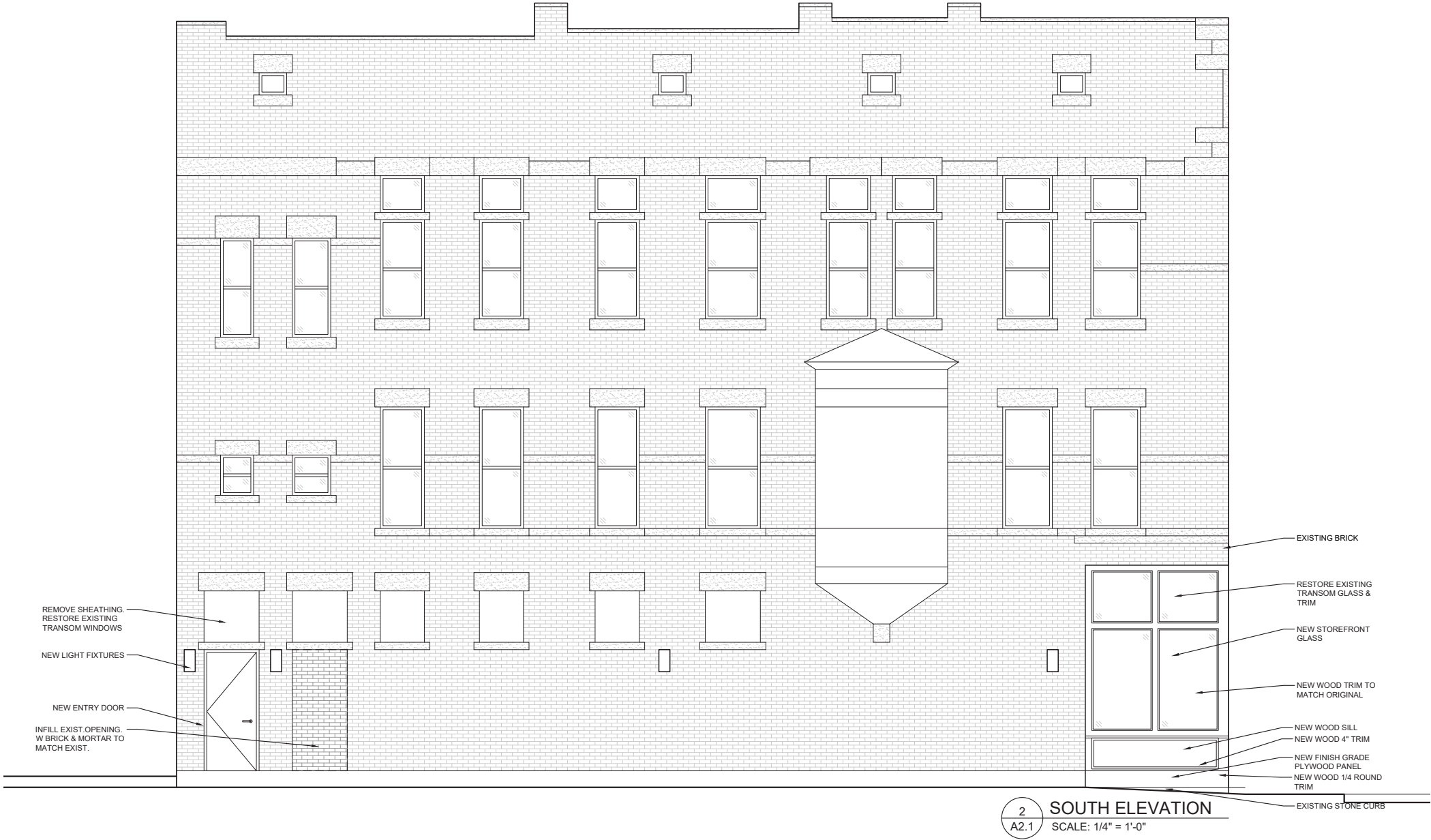


WINDOWS
PELLA IMPERVIA

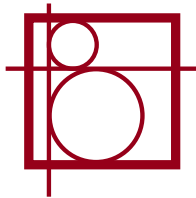
COLOR: BROWN
MATERIAL: FIBERGLASS
STYLE: DOUBLE HUNG



PROPOSED ELEVATION



STOREFRONT ELEVATION



BUILDING LIGHTING

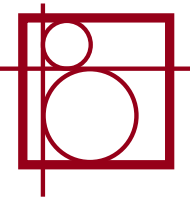
FIXTURES NOT TO SCALE



WALL SCONCE
WAC LIGHTING CYLINDER



UP/DOWN BUILDING LIGHT
NUVO LIGHTING: 900 LUMEN LED OUTDOOR LIGHT SCONCE

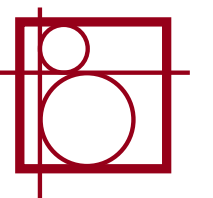




LIGHT POLE
15' ROUND STRAIGHT POLE DOUBLE FIXTURE



PEDESTRIAN LIGHT POLE
62" OUTDOOR SINGLE HEAD POST LIGHT





Calamagrostis x acutiflora 'Karl Foerster'
Feather Reed Grass
Ornamental grass
Height: 3-5' | Spread: 1.5-2'



Echinacea purpurea
Purple Coneflower
Herbaceous perennial
Height: 2-5' | Spread: 1.5-2'



Tilia americana 'American Sentry'
American Sentry Linden
Deciduous tree
Height: 50-80' | Spread: 30-50'



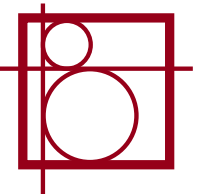
Betula nigra 'Heritage'
River Birch
Shade tree
Height: 40-50' | Spread: 30-35'

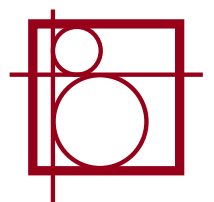


Hydrangea macrophylla 'Endless Summer'
Endless Summer Hydrangea
Flowering shrub
Height: 3-5' | Spread: 3-5'



Taxus x hicksii
Hicks Yew
Evergreen shrub
Height: 10-15' | Spread: 3-4'

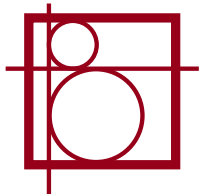


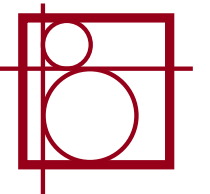


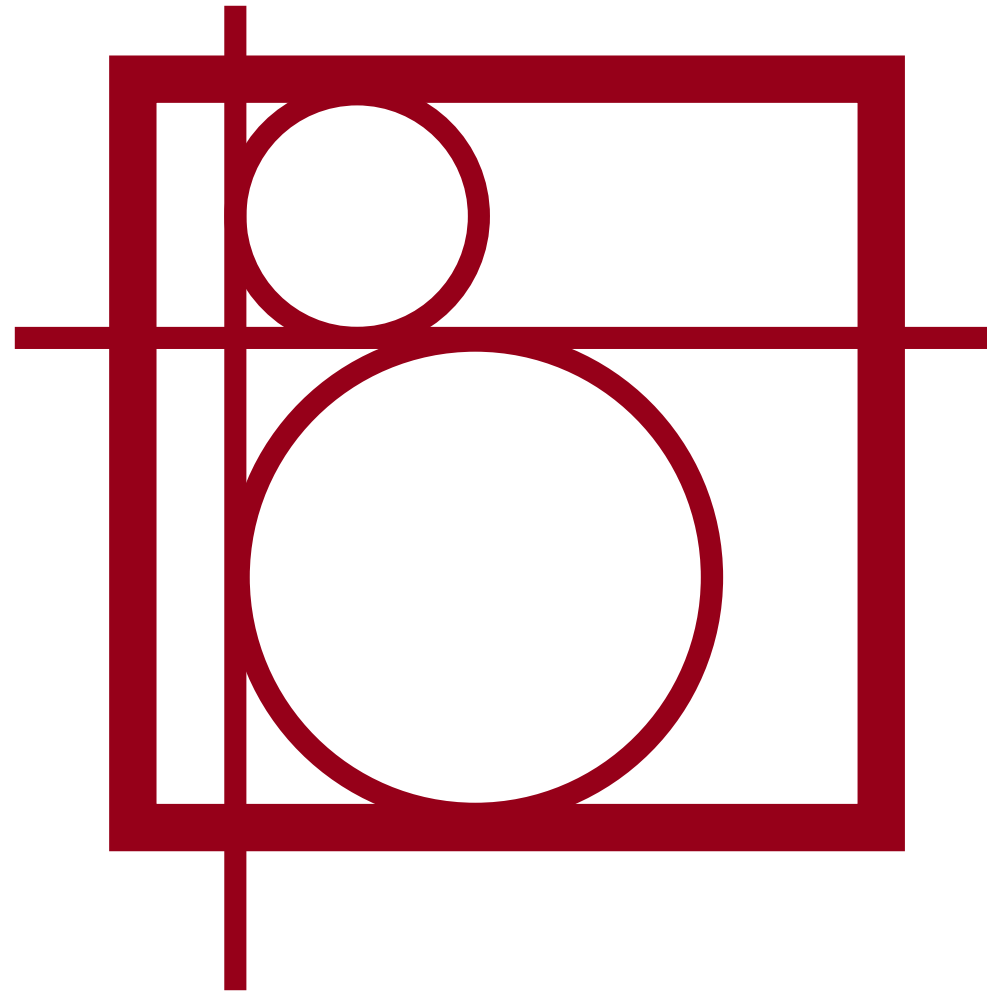


KERNS ON PEARL

2604 GARDEN AVE,
CLEVELAND, OHIO







2220 WOOSTER RD.

ROCKY RIVER, OHIO 44116

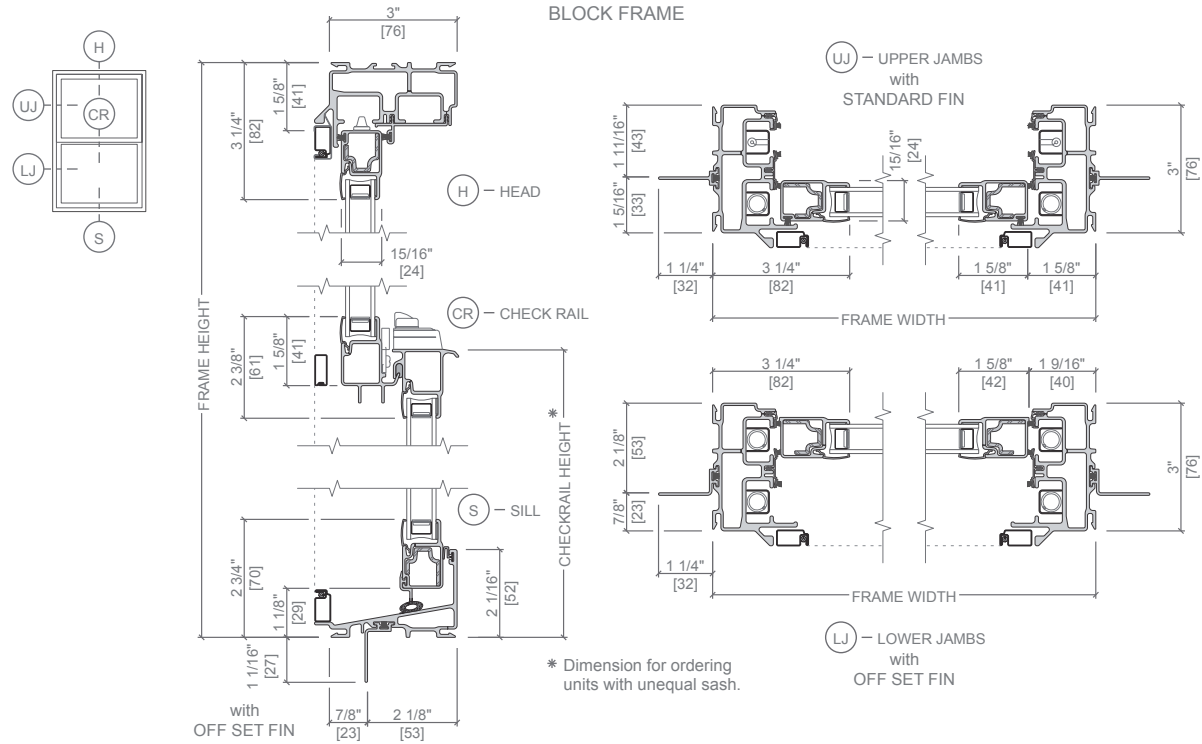
440-865-1824

WWW.BRANDTARCHITECTURE.COM



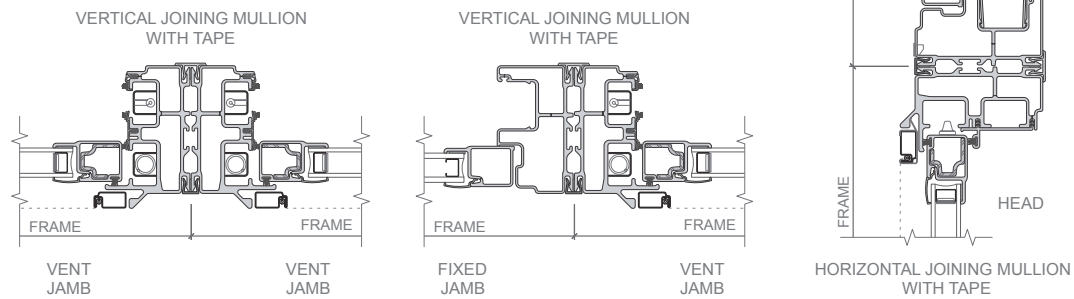
Impervia® Double-Hung Windows

Unit Sections



PROPOSED WINDOWS

PELLA IMPERVIA
COLOR: BROWN
MATERIAL: FIBERGLASS
STYLE: DOUBLE-HUNG



MASONIC LODGE PROPOSED ADAPTIVE MIX-USE

3804 Pearl Road, Cleveland, Ohio

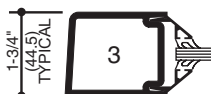
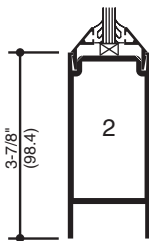
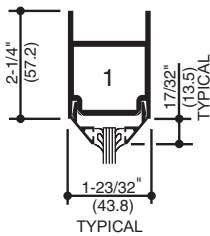
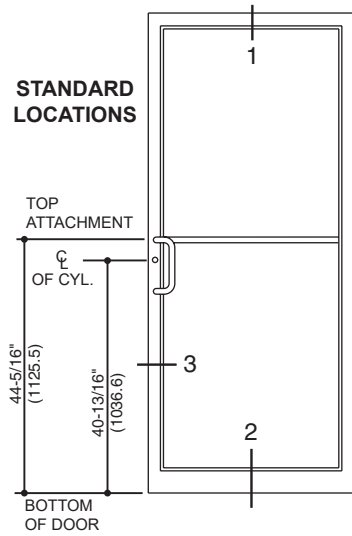


Additional information and CAD details are available at www.kawneer.com

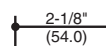
190 NARROW STILE

350 MEDIUM STILE

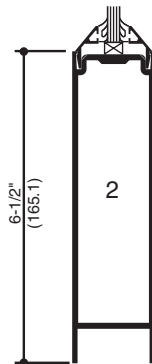
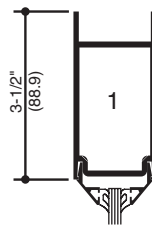
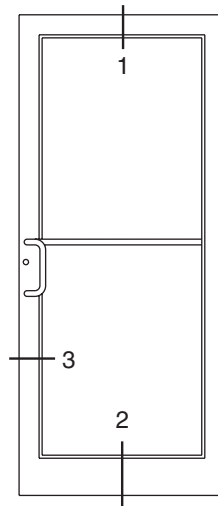
500 WIDE STILE

STANDARD
LOCATIONS

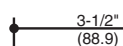
SINGLE ACTING



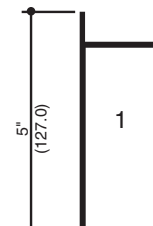
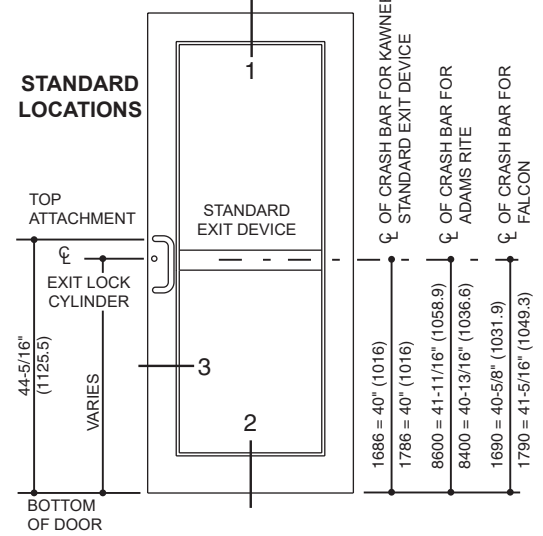
DOUBLE ACTING



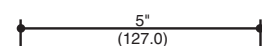
SINGLE ACTING



DOUBLE ACTING

STANDARD
LOCATIONS

SINGLE ACTING



DOUBLE ACTING

Laws and building and safety codes governing the design and use of Kawneer products, such as glazed entrance, window, and curtain wall products, vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.

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BEAD BOARD PANEL

1 x 4 x 12' Beaded Tongue & Groove Pattern Board

(Actual Size 23/32" x 3-11/32" x 12')



Case 25-029

Certificate of Appropriateness

**Eleanor Rainey Memorial Institute
(aka Willson Avenue Boys Club)**

**Schematic Review
completed April 25th, 2025**

Historic Eleanor B. Rainey Memorial
Institute Building
1523 East 55th Street

Rehabilitation and Addition

Project Representatives: Michael Sanbury, LDA Architecture
Ward 7: Councilmember Howse-Jones



THE HISTORIC ELEANOR B. RAINEY MEMORIAL INSTITUTE BUILDING

CLIQUEPOINT DATA FOUNDATION

1523 EAST 55TH STREET
CLEVELAND, OH 44103



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5000 Euclid Avenue, Suite 104
Cleveland, OH 44103
LDAarchitecture.com
216.932.1890

REV	DATE	DESCRIPTION
	06.30.2023	NPS REVIEW
	08.30.2023	NPS/SHPO REVIEW
	04.08.2025	LANDMARKS DESIGN REVIEW

ZONING REQUIREMENTS

CITY OF CLEVELAND OHIO CODE OF ORDINANCES PART IIIB: LAND USE CODE TITLE VII: ZONING CODE	PARCEL NUMBER:	104-14-018	104-14-019
	DESIGN REVIEW REGION:	NORTHEAST	NORTHEAST
	DESIGN REVIEW DISTRICT:	SUPERIOR	SUPERIOR
	ZONING CODE:	GR-C3	2F-B1
	USE DISTRICT:	GENERAL RETAIL BUSINESS	TWO FAMILY
	AREA DISTRICT:	C	B
HEIGHT DISTRICT:		3	1
LOCAL LANDMARK DISTRICT:		NO	NO
NATIONAL LANDMARK DISTRICT:		NO	NO
ZONING OVERLAY DISTRICT:		NO	NO

PROJECT INFORMATION

PROPOSED OCCUPANCY: BUSINESS B	GROSS BUILDING AREA:	EXISTING	ADDITION	TOTAL
	BASEMENT	2,698 SF	391 SF	2,634 SF
	FIRST FLOOR	2,707 SF	391 SF	3,098 SF
	SECOND FLOOR	2,776 SF	391 SF	3,167 SF
	THIRD FLOOR	1,335 SF	391 SF	1,726 SF
LOT SIZE: PARCEL 10414018 = 7,840 SQ FT (0.18 AC) LEGAL FRONT = 70.1 SQ FT	TOTALS:	9,516 SF	1,564 SF	11,080 SF
PARCEL 10414019 = 10,152 SQ FT (0.233 AC) LEGAL FRONT = 107.7 SQ FT				

ZONING STANDARDS AND RESTRICTIONS	REQUIRED	PROPOSED	VAR.
MAXIMUM GROSS FLOOR AREA			
1/2 TOTAL LOT AREA: 17,992 / 2 = 8,996 SF	8,996 SF	10,625 SF	YES
BUILDING HEIGHT			
3 HL = 3D, BUT NOT TO EXCEED 115 FT D = DISTANCE TO CL OF STREET = +/- 52 FT 3(52) = 156'	115' MAX.	36'-1/4" EXISTING HEIGHT TO REMAIN	NO
FRONT YARD SETBACK			
15% LOT DEPTH, BUT NOT TO EXCEED 30' 221'-3" x .15 = 33'-2"	30'	EXISTING SETBACK TO REMAIN	NO
SIDE YARD SETBACK			
10% LOT WIDTH, OR 5' - WHICHEVER IS LESS 72'-4" x .1 = 7'-2"	5' MIN.	EXISTING SETBACK TO REMAIN	NO
REAR YARD REQUIREMENT			
N/A			
PARKING REQUIREMENTS			
RETAIL SERVICE USES = 1/500 OF GSF 4,971/500 = 10 SPACES	10 REQUIRED		
RETAIL SALES USES (CAFE AND KITCHENS) = 1 EMPLOYEE FOR EACH, 3 SPACES	3 REQUIRED		
TOTAL	13 REQUIRED	14 PROVIDED	NO
BICYCLE PARKING			
1 BICYCLE SPACE PER 20 AUTOMOBILE SPACE	1 REQUIRED		NO

PROJECT SUMMARY

THE REHABILITATION OF THE HISTORIC ELEANOR B. RAINEY INSTITUTE BUILDING WILL TRANSFORM THIS UNIQUE STRUCTURE FOR THE NONPROFIT ORGANIZATION CLIQUEPOINT DATA FOUNDATION INTO A COLLABORATIVE CO-WORKING SPACE. THE GOAL IS TO CREATE A COLLABORATIVE UNIFIED NETWORK OF DIVERSE ORGANIZATIONS UNDER ONE ROOF WITH ONE GOAL: TO SERVE THE COLLECTIVE NEEDS OF THE HOUGH, CENTRAL, AND FAIRFAX COMMUNITIES.

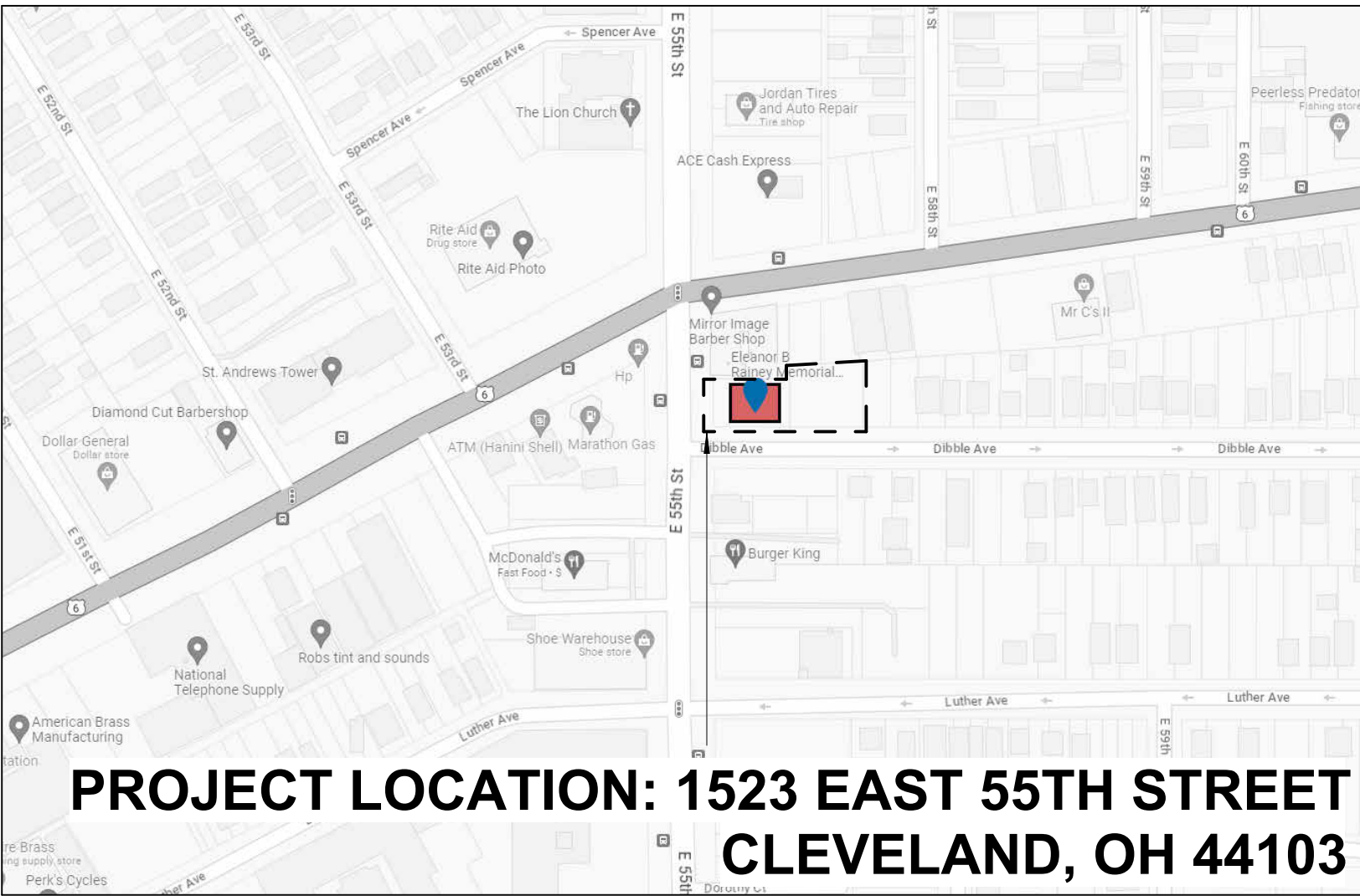
1. DEMOLITION OF THE EXISTING GARAGE AND EXTERIOR FIRE ESCAPES THE EXISTING GARAGE WILL BE DEMOLISHED TO ENABLE VEHICULAR ACCESS FROM THE NEW PARKING AREA THAT WILL EXIT ALONG THE NORTHERN PORTION OF THE SITE. WINDOW OPENINGS WILL BE RESTORED WHERE CURRENTLY FILLED IN AT THE NORTH OF THE BUILDING. THE EXTERIOR FIRE ESCAPES WILL BE REMOVED. NEW FIRE EGRESS WILL BE PROVIDED.

2. RENOVATION OF THE EXISTING BUILDING CURRENTLY VACANT, THE FULL RENOVATION OF THE FORMER ELEANOR B. RAINEY MEMORIAL INSTITUTE BUILDING WILL CONSIST OF A FULL INTERIOR REHABILITATION AND ADAPTIVE REUSE NECESSARY TO UTILIZE THE BUILDING FOR OFFICE, COWORKING, AND EVENT FUNCTIONS. THE MAIN FLOOR WILL HOUSE A SMALL RETAIL SPACE THAT WILL INCLUDE HISTORIC MEMORABILIA ON DISPLAY AND FOR SALE, AN OPEN EVENT AND/OR COWORING SPACE, SITTING ROOMS, AND RESTROOMS. THE SECOND FLOOR WILL HOUSE PRIVATE OFFICES AND ADDITIONAL COWORKING SPACE FOR LEASE AND AN EVENT SPACE IN THE ORIGINAL GYM. THE THIRD FLOOR WILL HOUSE ADDITIONAL OFFICE AND RECORDING STUDIO SPACES. A NEW INTERIOR BRIDGE WILL CONNECT THE THIRD FLOOR TO THE ADDITION FOR EMERGENCY EGRESS AND ACCESSIBLE ELEVATOR ACCESS. THE LOWER LEVEL WILL HOUSE A COMMUNITY KITCHEN, PREP, AND DINING AREA.

3. ADDITION TO THE EXISTING BUILDING THE NEW ADDITION AT THE REAR OF THE BUILDING WILL INCLUDE AN ACCESSIBLE GROUND LEVEL ENTRANCE, ELEVATOR AND EGRESS STAIR ACCESSING ALL LEVELS.

4. SITE IMPROVEMENTS AND NEW PARKING LOT THE EXISTING PARKING AREA AT E. 55TH STREET WILL BE REPURPOSED FOR A SMALL OUTDOOR SEATING AREA. THE REAR-EAST YARD WILL INCLUDE NEW PAVING FOR AN OUTDOOR EVENT SPACE. A NEW PARKING AREA WILL BE INCLUDED AND PROVIDE ACCESSIBLE PARKING AND DIRECT ACCESS TO THE ACCESSIBLE ENTRANCE AT THE ADDITION. BIKE PARKING, PATIO, GARDEN, AND LANDSCAPE FEATURES WILL BE PROVIDED.

LOCATION MAP



**PROJECT LOCATION: 1523 EAST 55TH STREET
CLEVELAND, OH 44103**

**BUILDING IS SUBJECT TO NATIONAL PARK
SERVICE REQUIREMENTS. REFER TO
HISTORIC NOTES - SHEET H1.01**

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**THE HISTORIC ELEANOR B.
RAINEY MEMORIAL INSTITUTE**
Cliquepoint Data Foundation

1523 East 55th Street, Cleveland, OH 44103
LDA Project No.22.34

COVER SHEET

A-0



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HISTORIC PHOTOS
A-1





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HISTORIC PHOTOS

A-2



PHOTO 4. NORTHEAST CORNER



PHOTO 3. GARAGE



PHOTO 2. SOUTHWEST CORNER



PHOTO 1. NORTHWEST CORNER



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EXISTING BUILDING PHOTOS

A-3

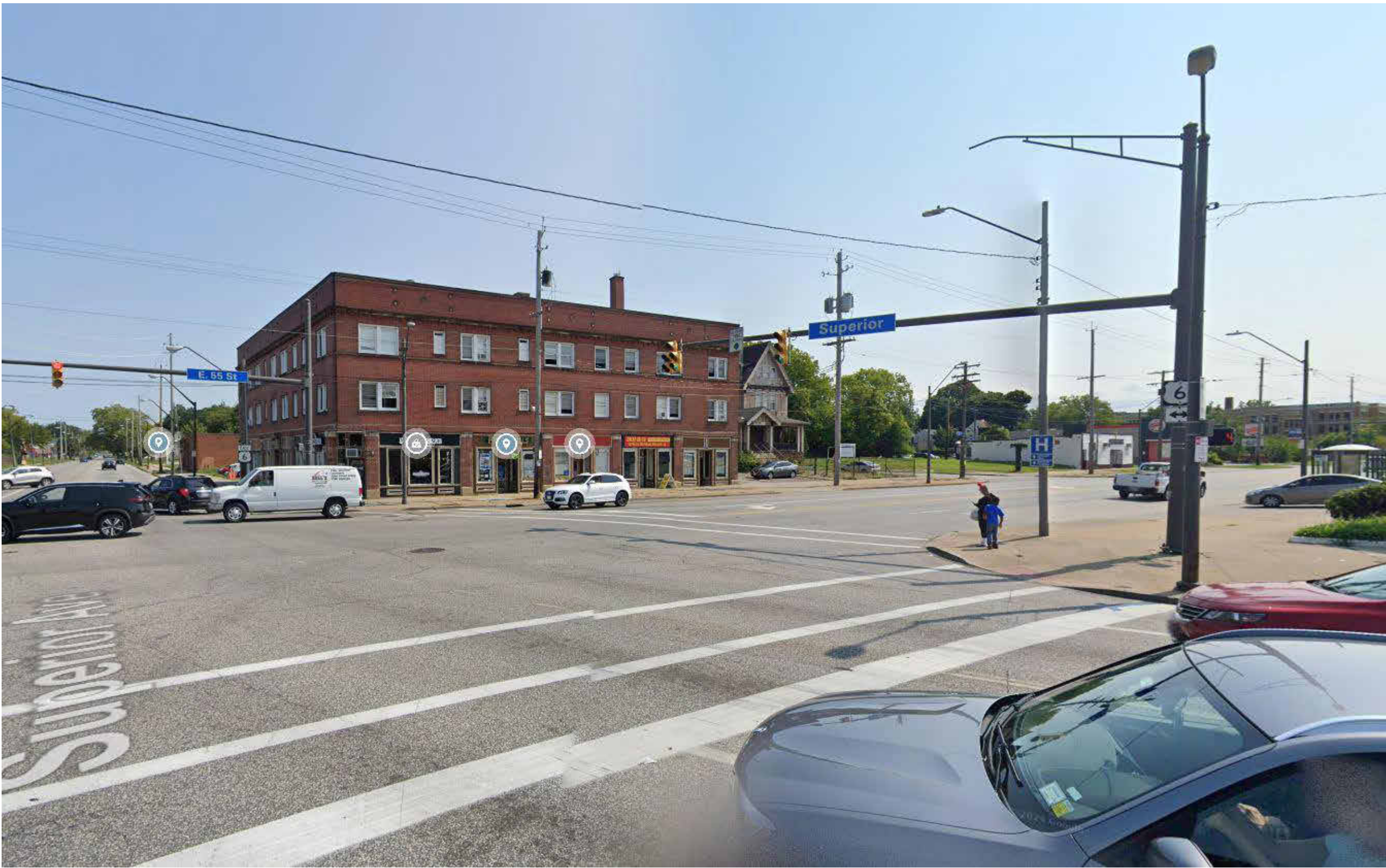


PHOTO 2. E 55TH & SUPERIOR INTERSECTION



PHOTO 4. E 55TH LOOKING NORTH

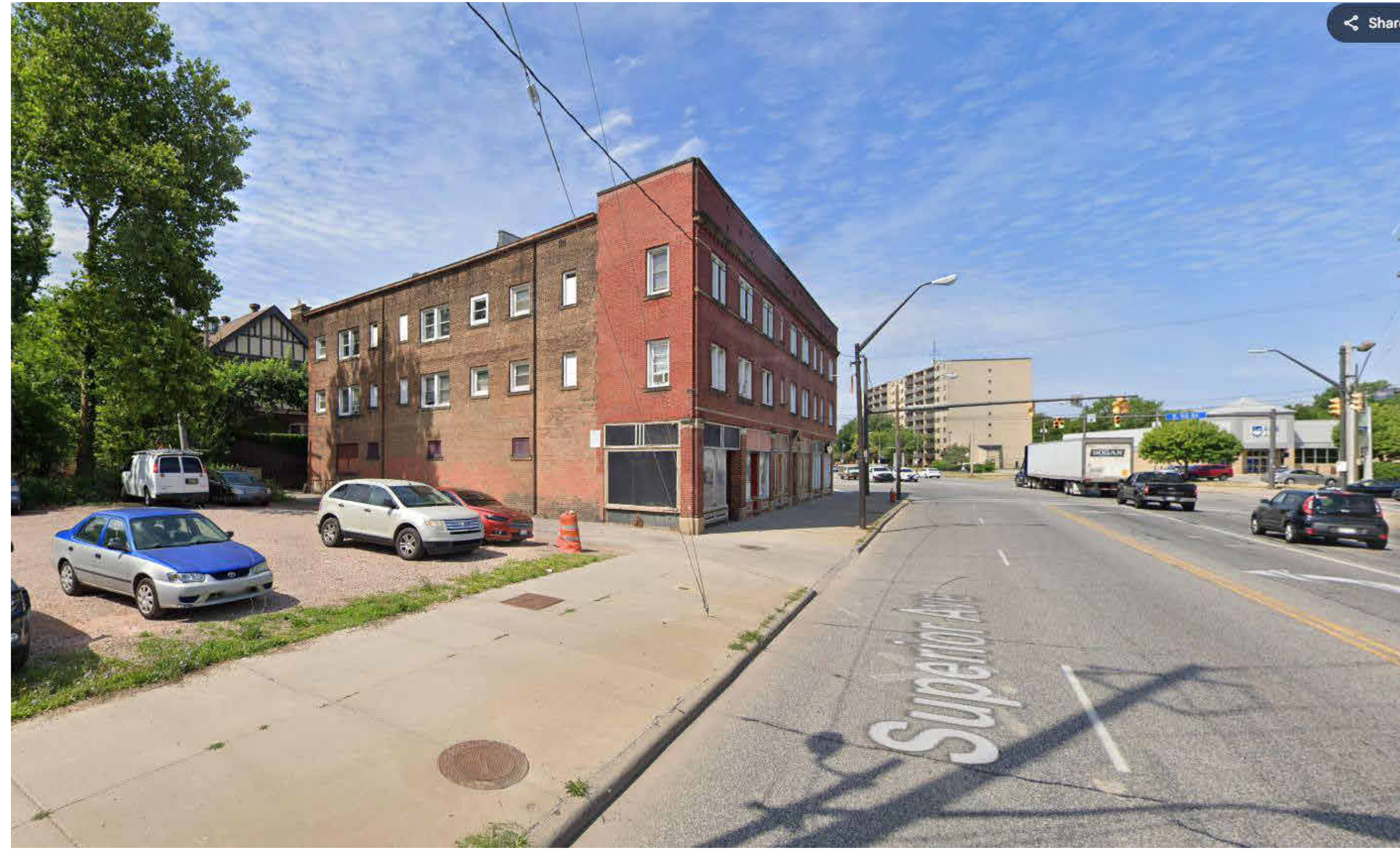


PHOTO 3. SUPERIOR LOOKING SOUTHWEST

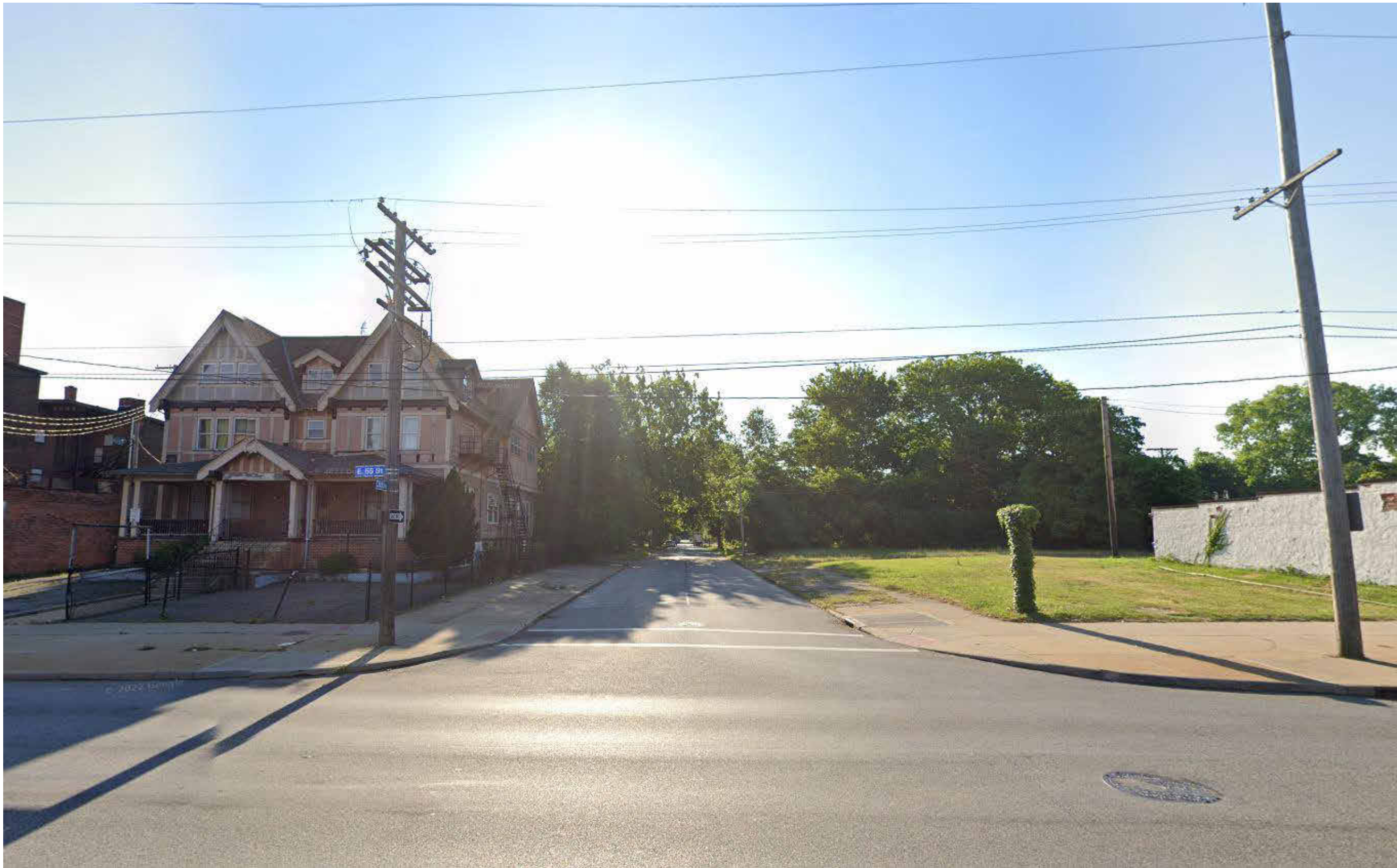


PHOTO 5. DIBBLE LOOKING EAST



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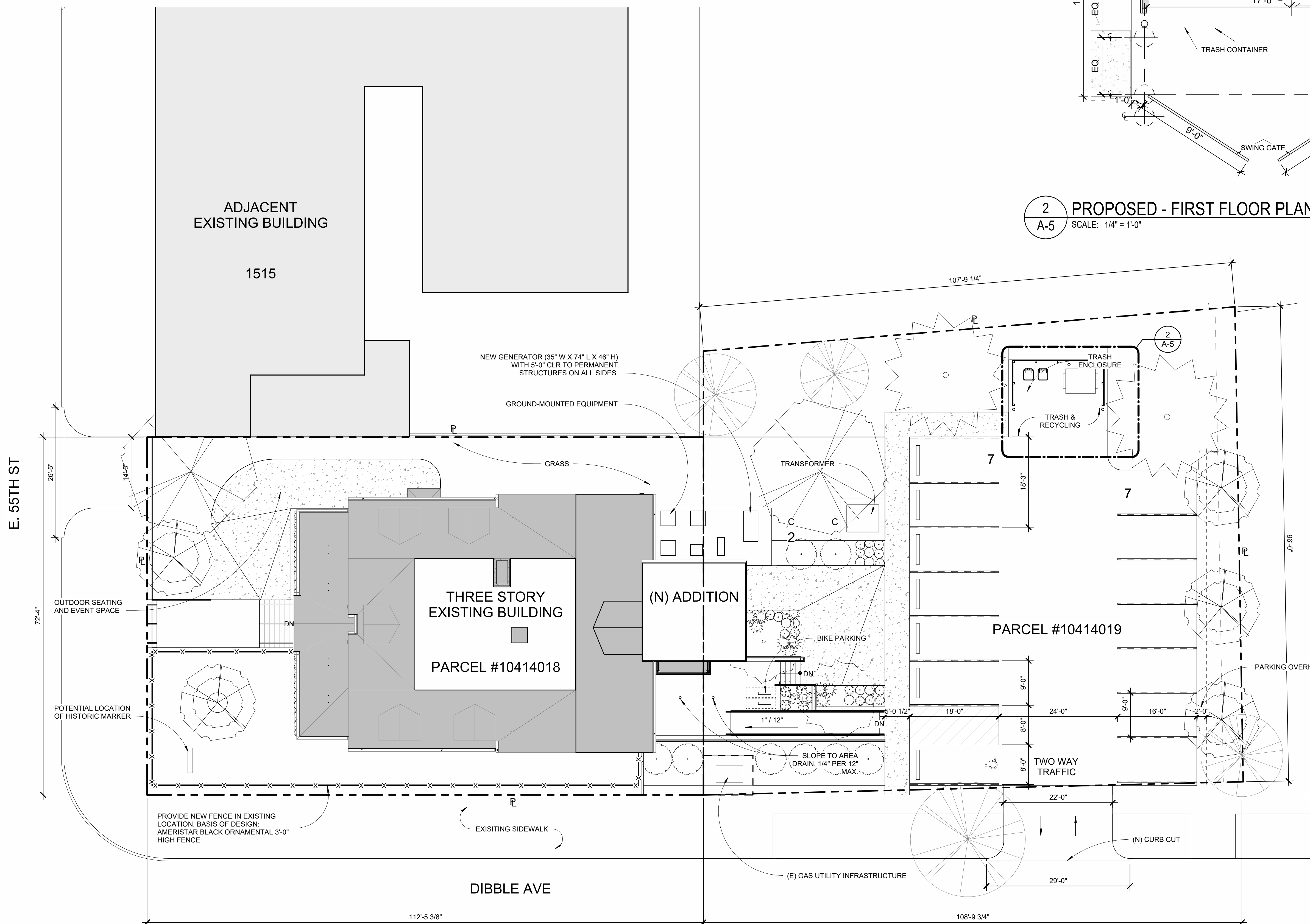
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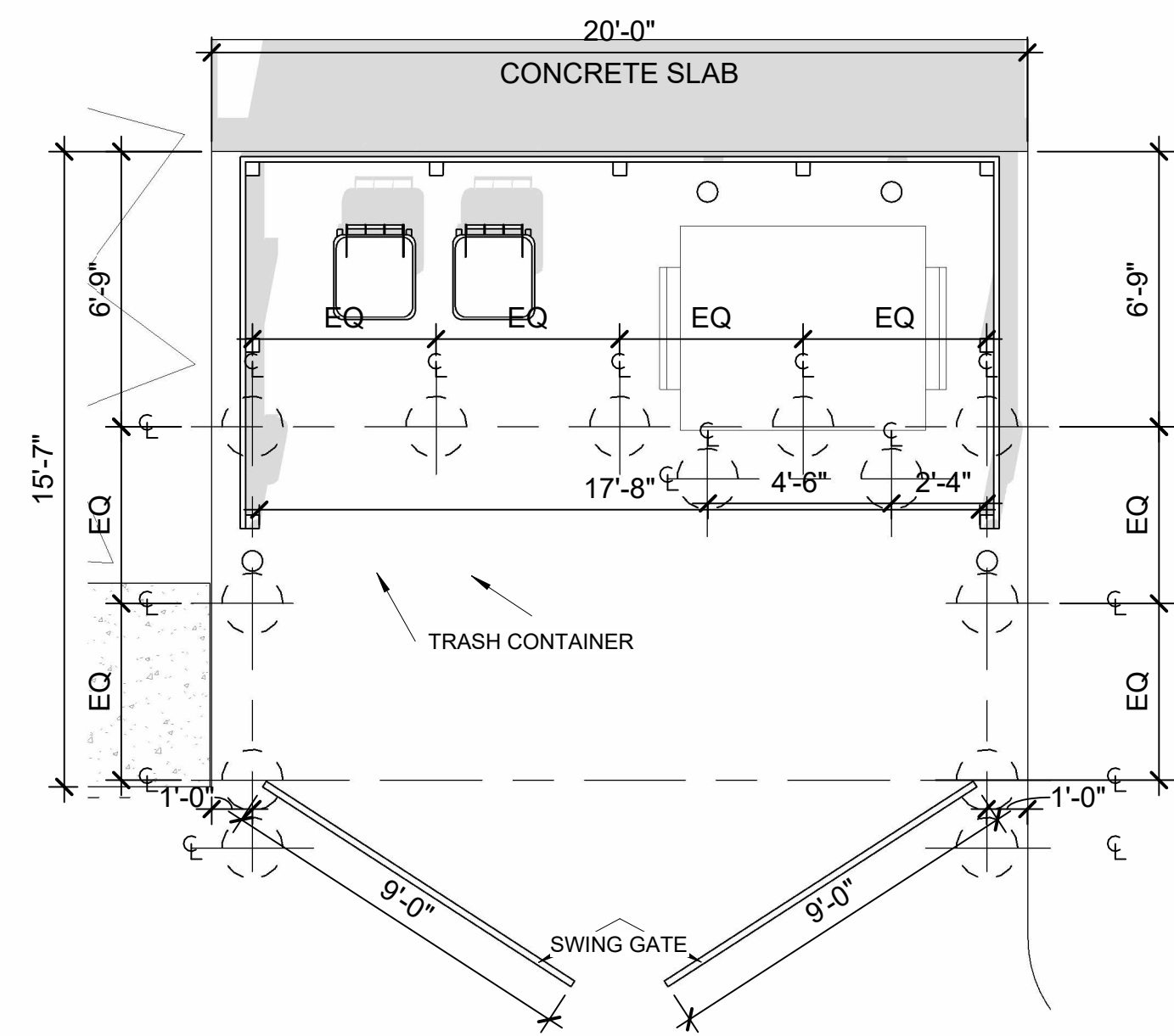
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EXISTING CONTEXT PHOTOS



1
A-5
PROPOSED ARCHITECTURAL SITE PLAN
SCALE: 3/32" = 1'-0"



2
A-5
PROPOSED - FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



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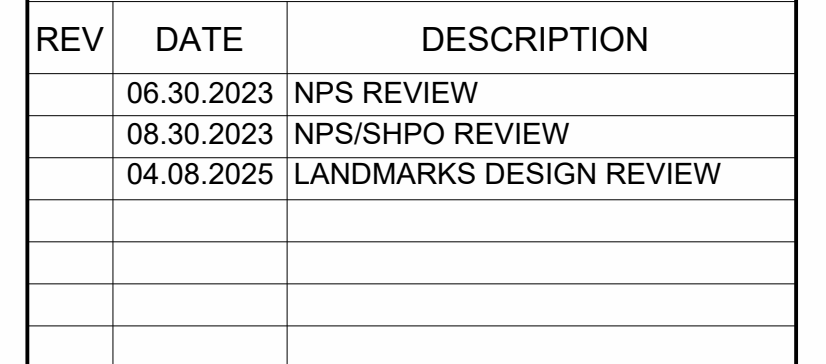
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SITE PLAN
A-5

NATIVE SPECIES ONLY

A-6



PURPLE CONEFLOWER - ECHINACEA PURPUREA



WILD BERAMOT - MONARDA FISTULOSA



ORANGE CONEFLOWER - RUDBECKIA FULGIDA

PLANTING SCHEDULE				
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
CC FP	5	CERCIS CANADENSIS 'FOREST PANSY'	FOREST PANSY REDBUD	6-7'
PI ST	2	PINUS STROBUS	EASTERN WHITE PINE	1.5-2"
CO FL	2	CORNUS FLORIDA	FLOWERING DOGWOOD	1.5-2"
RU FU	21	RUDBECKIA FULGIDA	ORANGE CONEFLOWER	
MA ST	11	MATTEUCCIA STRUTHIOPTERIS	OSTRICH FERN	
SP HE	10	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	
EC PU	12	ECHINACEA PURPUREA	PURPLE CONEFLOWER	
	1	EXISTING	EXISTING	
AR AR	8	ARONIA ARBUTIFOLIA	RED CHOKEBERRY	
	2	EXISTING	EXISTING	
SA AL	2	SASSAFRAS ALBIDUM	SASSAFRAS	1.5-2"
	2	EXISTING	EXISTING	
MO FI	13	MONARDA FISTULOSA	WILD BERGAMOT	

NATIVE SPECIES ONLY



RED CHOKEBERRY - ARONIA ARBUTIFOLIA



OSTRICH FERN - MATTEUCCIA STRUTHIOPTERIS



PRAIRIE DROPSEED - SPOROBOLUS HETEROLEPIS



SASSAFRAS - SASSAFRAS ALBIDUM



EASTERN WHITE PINE - PINUS STROBUS



FLOWERING DOGWOOD - CONRUS FLORIDA



FOREST PANSY REDBUD - CERCIS CANADENSIS



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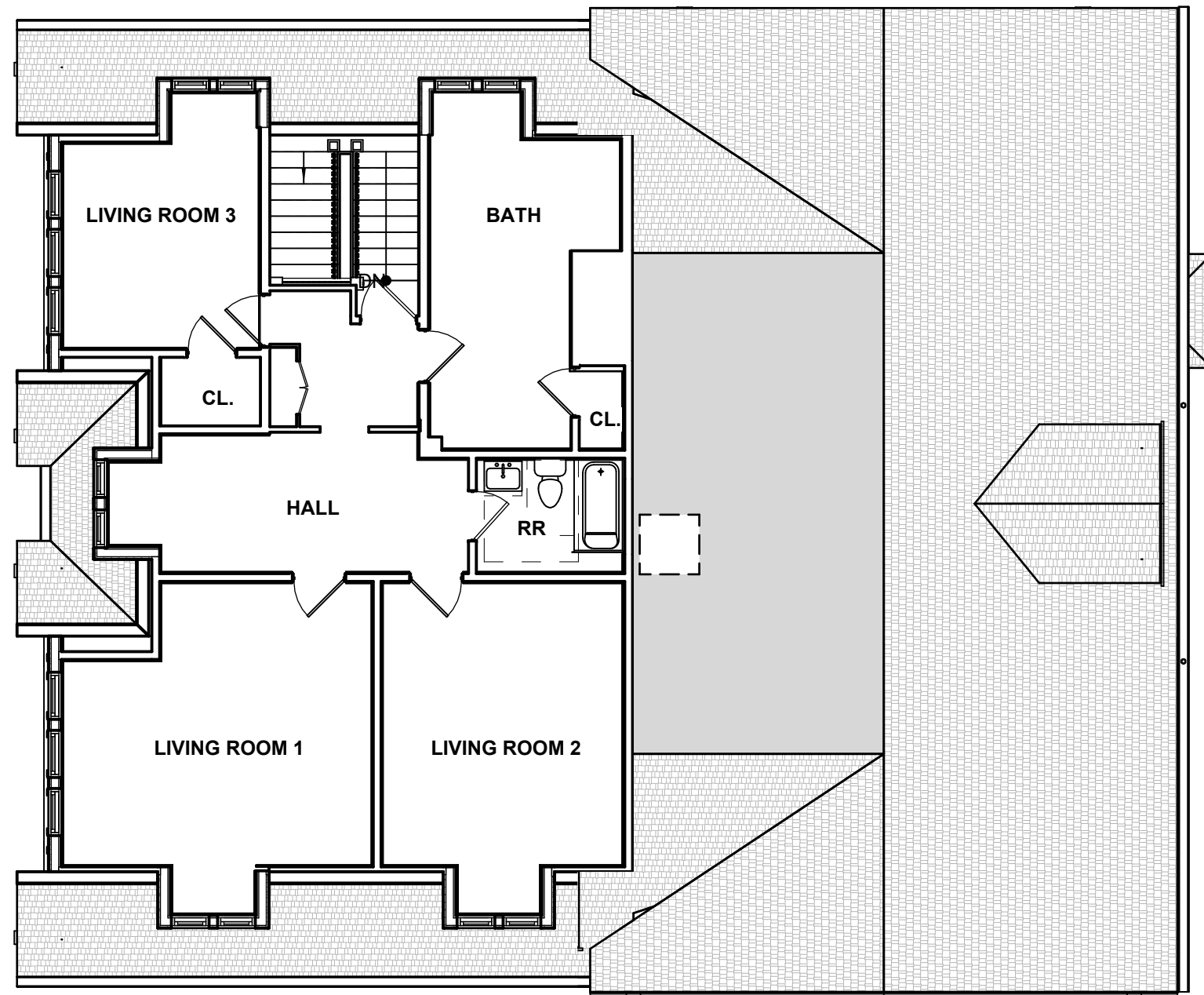
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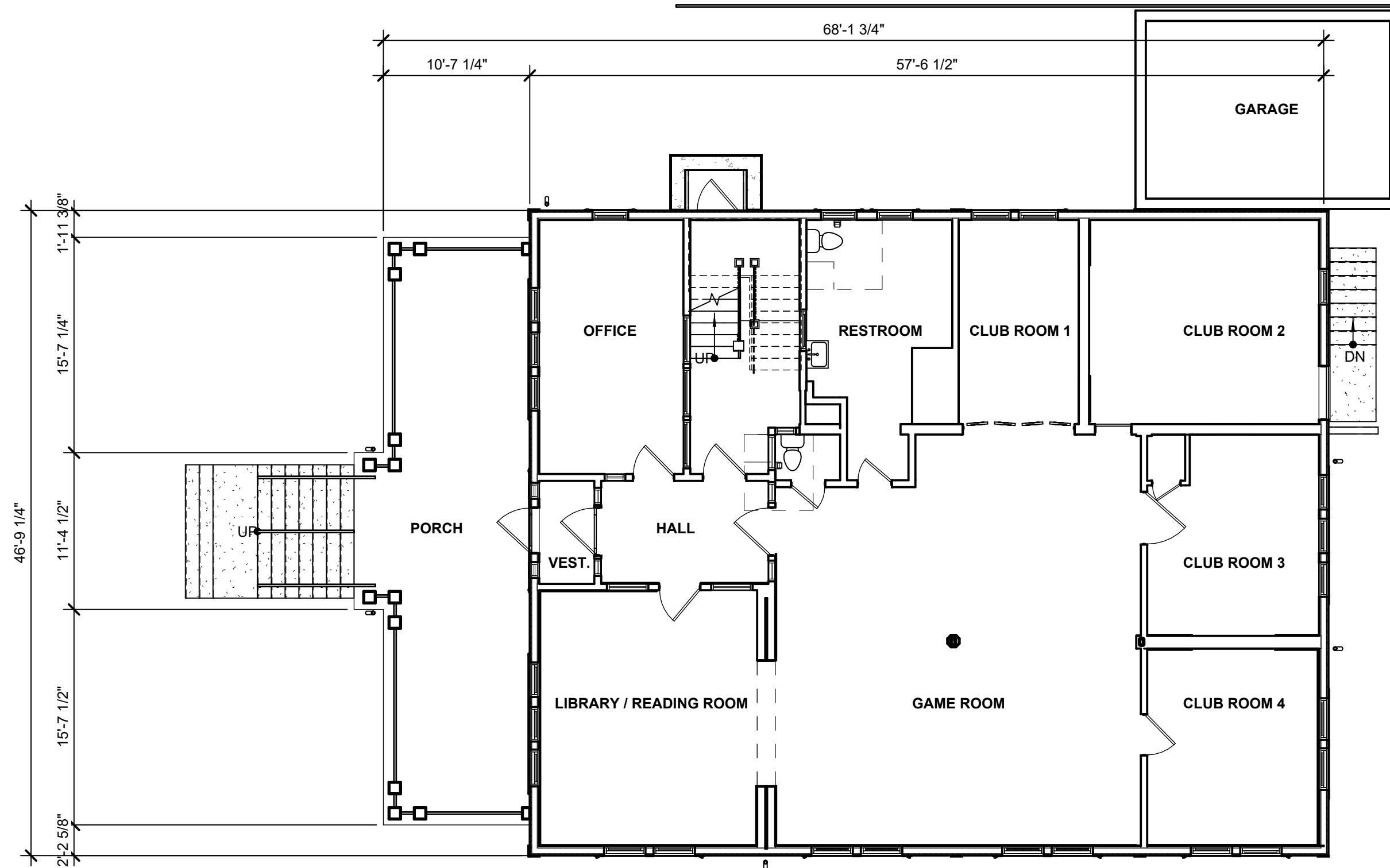
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SITE PLANTING

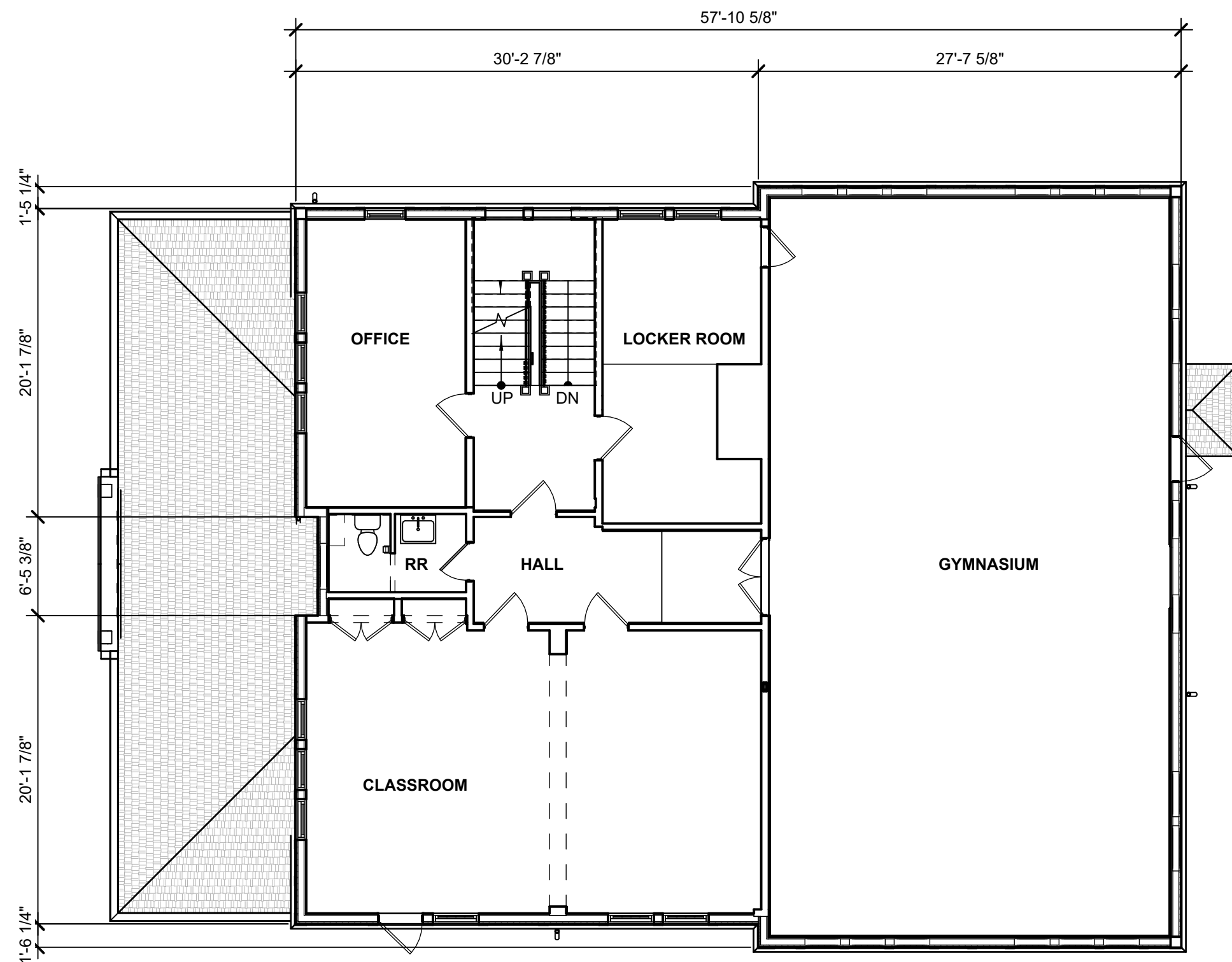
A-7



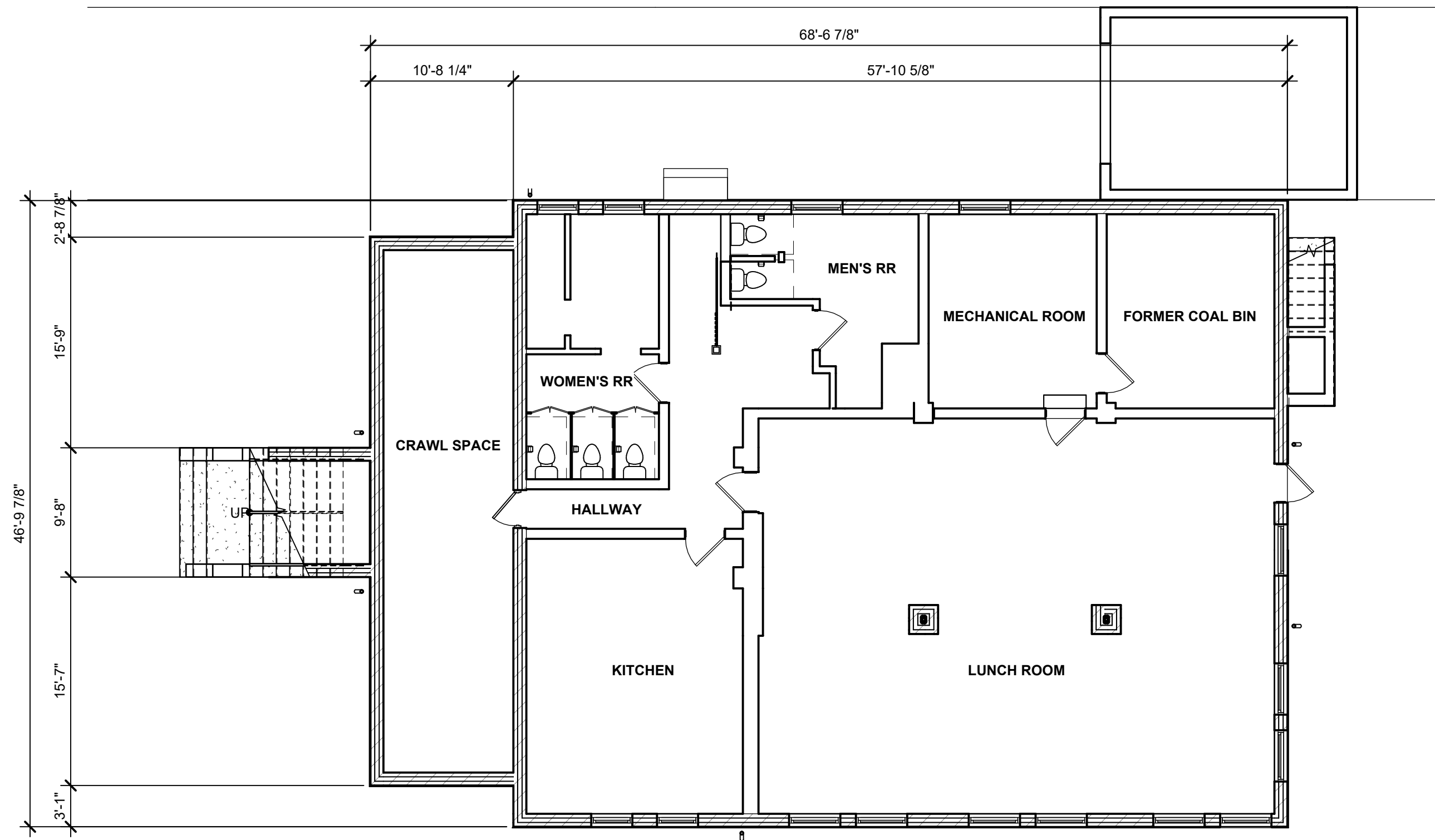
4
A-8 EXISTING THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"



2
A-8 EXISTING FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



3
A-8 EXISTING SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



1
A-8 EXISTING BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"



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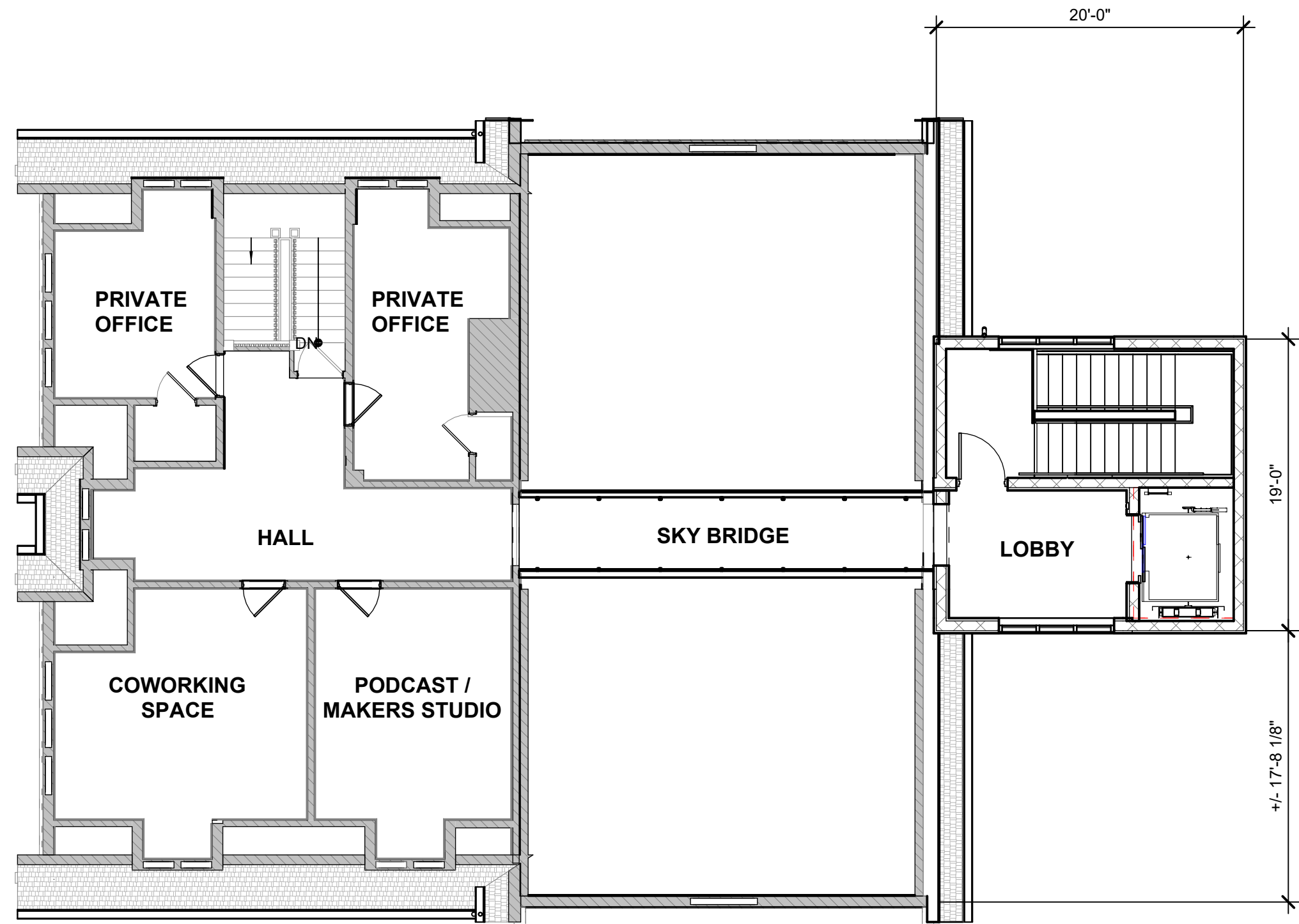
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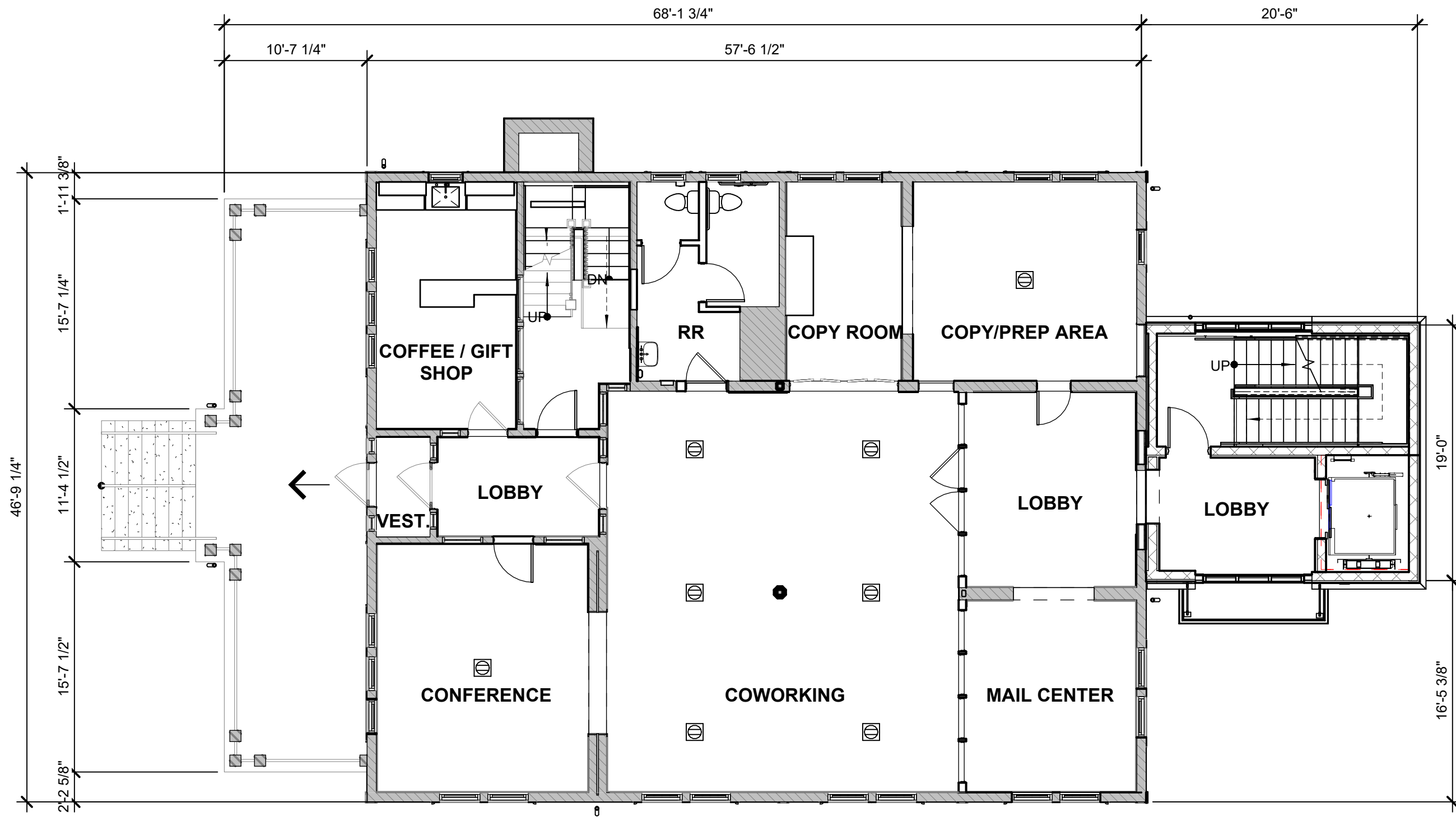
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EXISTING FLOOR PLANS

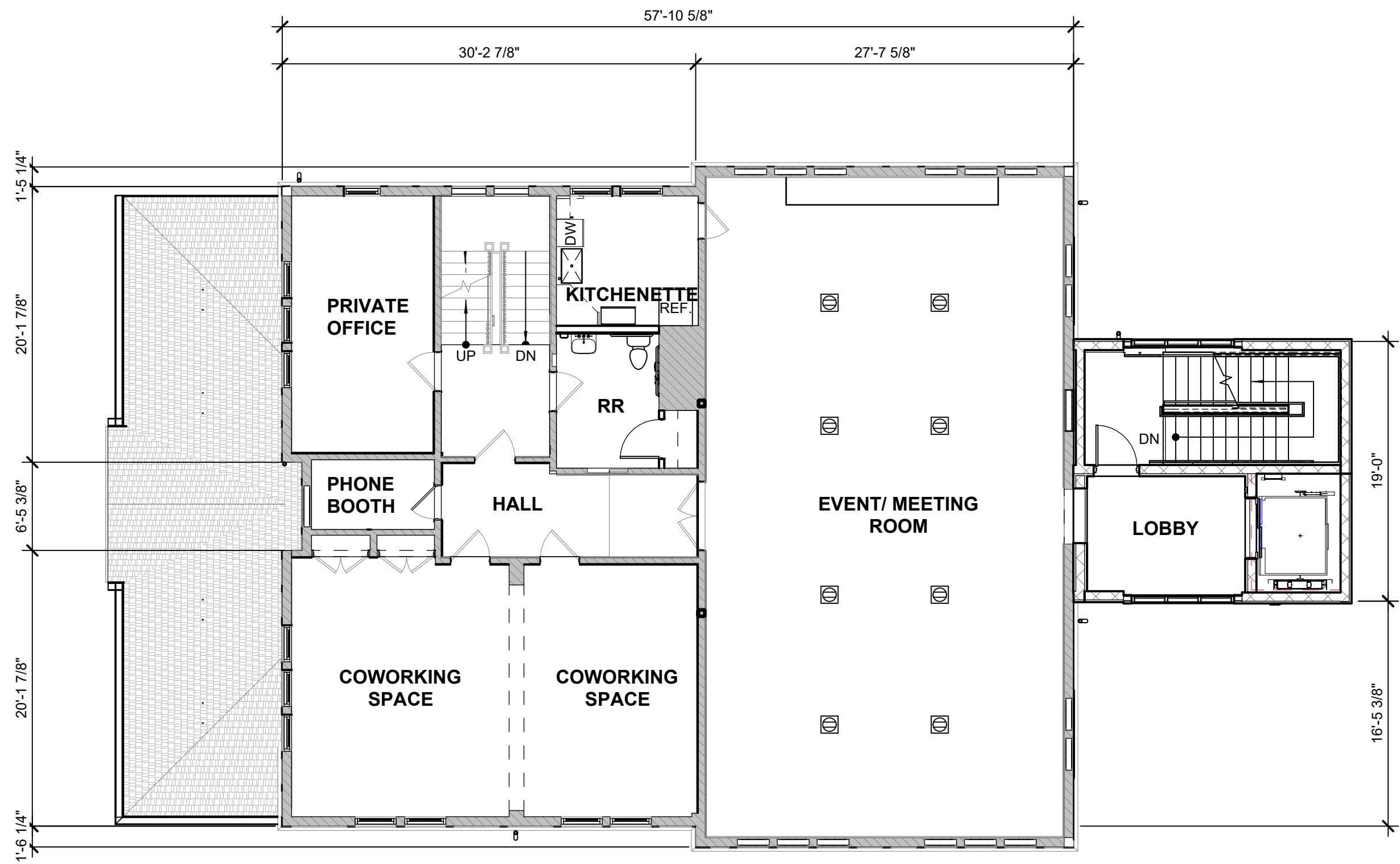
A-8



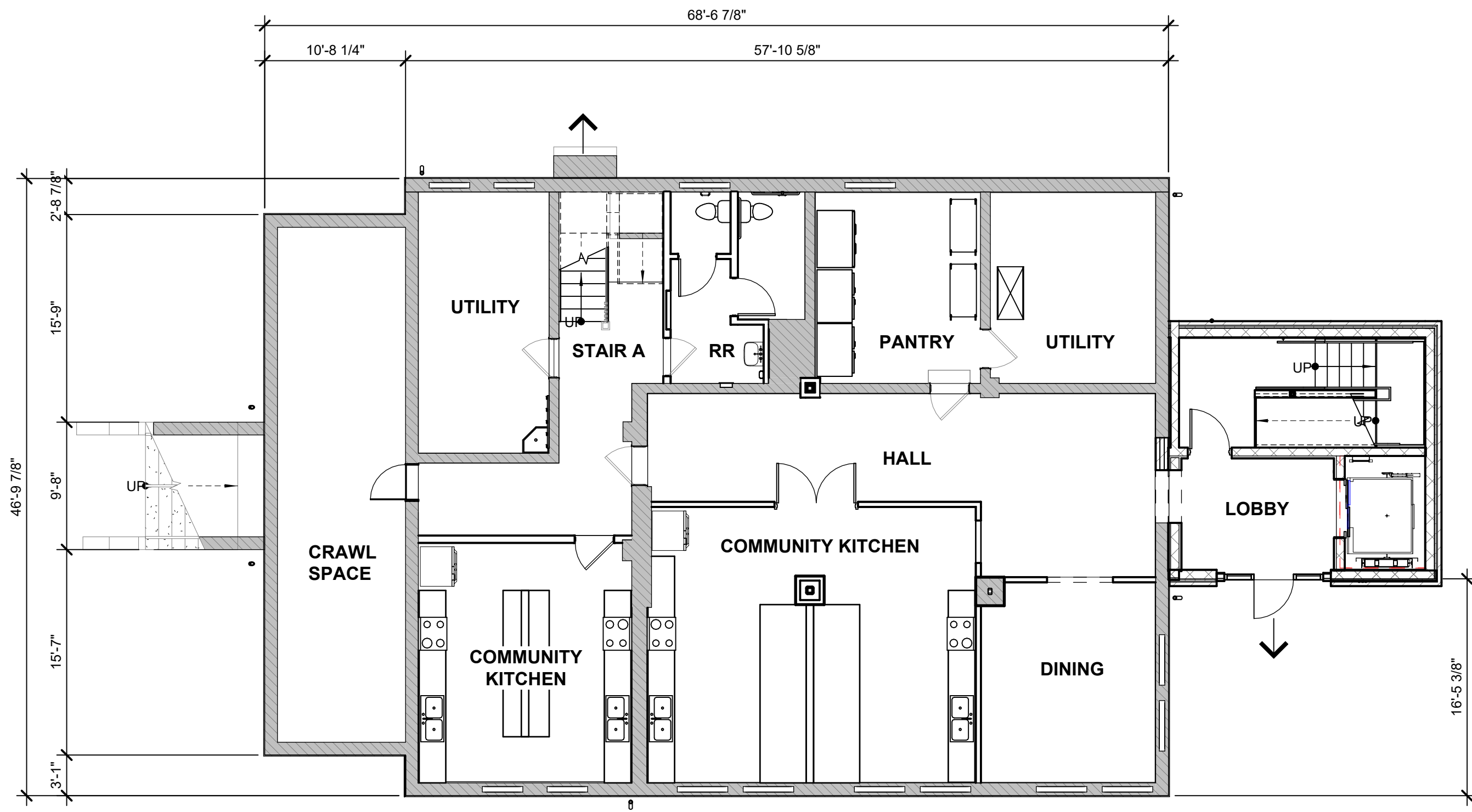
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A-9 PROPOSED THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"



2
A-9 PROPOSED FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



3
A-9 PROPOSED SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



1
A-9 PROPOSED BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"



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PROPOSED FLOOR PLANS

A-9



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4 EXISTING - EAST ELEVATION
A-10 SCALE: 1/8" = 1'-0"



2 EXISTING - NORTH ELEVATION
A-10 SCALE: 1/8" = 1'-0"



3 EXISTING - WEST ELEVATION
A-10 SCALE: 1/8" = 1'-0"



1 EXISTING - SOUTH ELEVATION
A-10 SCALE: 1/8" = 1'-0"

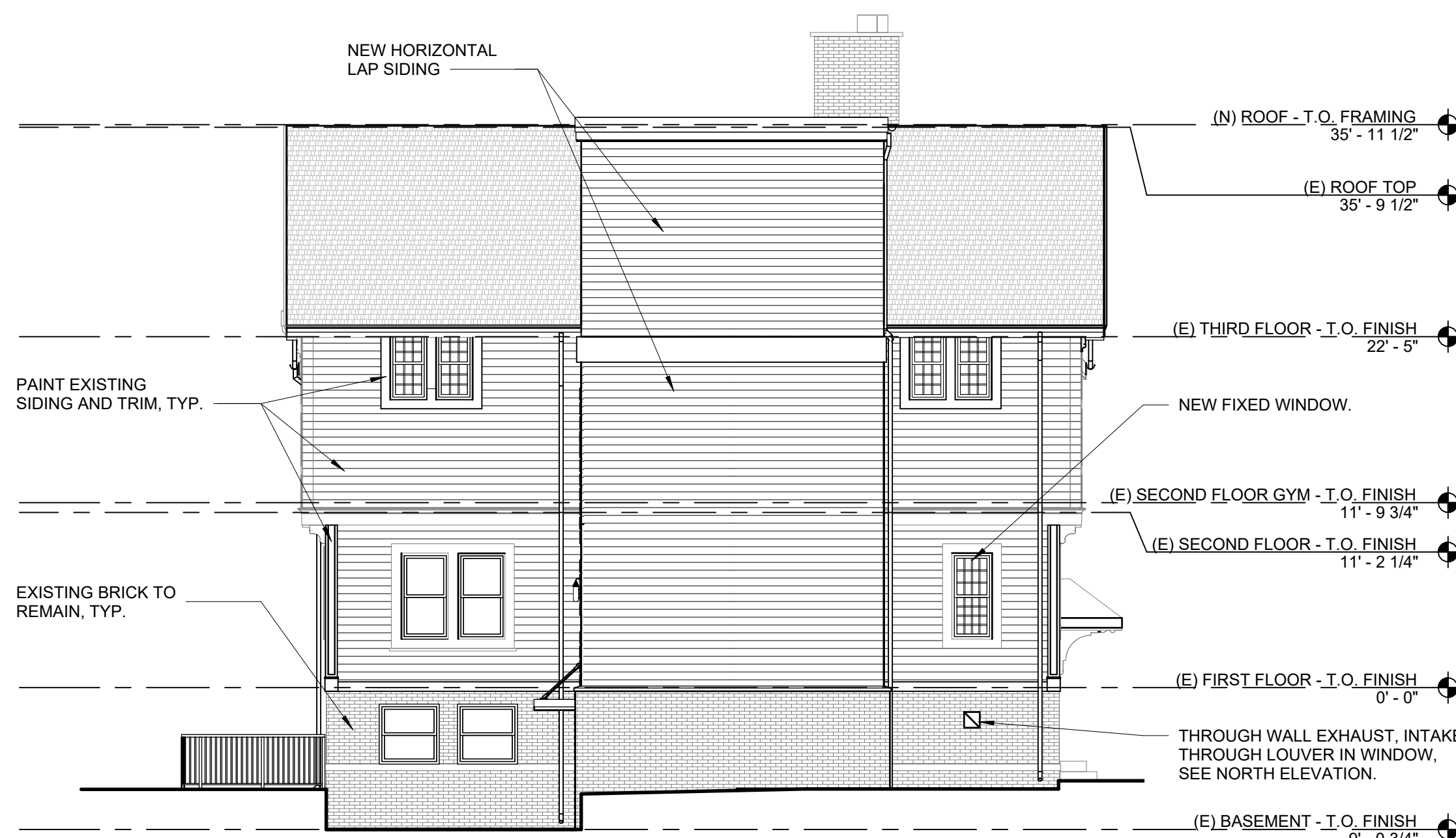
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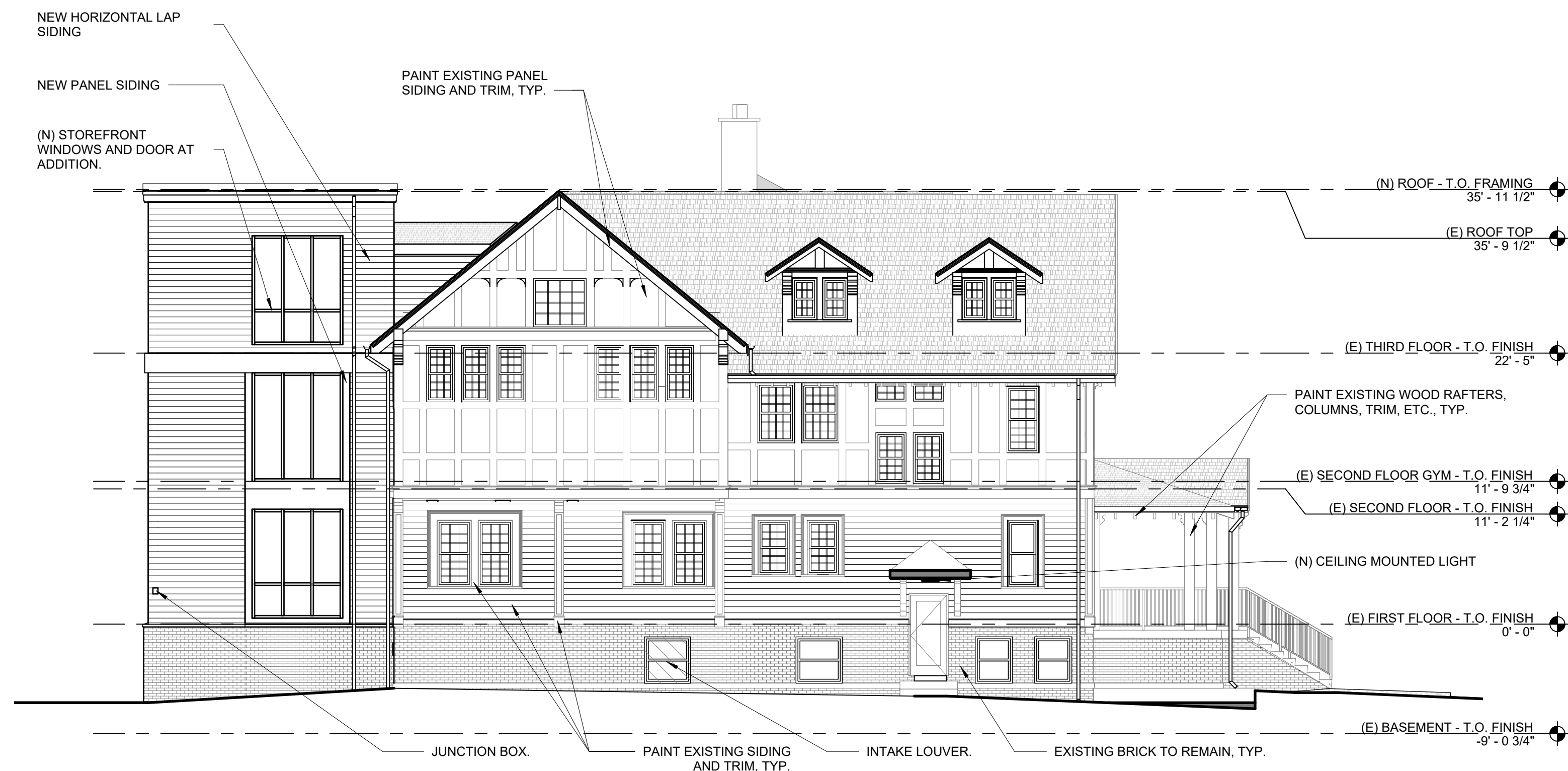
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THE HISTORIC ELEANOR B.
RAINEY MEMORIAL INSTITUTE
Cliquepoint Data Foundation
1523 East 55th Street, Cleveland, OH 44103
LDA Project No.22.34

EXISTING EXTERIOR
ELEVATIONS
A-10



1 PROPOSED - EAST ELEVATION
A-11 SCALE: 1/8" = 1'-0"



2 PROPOSED - NORTH ELEVATION
A-11 SCALE: 1/8" = 1'-0"



4 PROPOSED - WEST ELEVATION
A-11 SCALE: 1/8" = 1'-0"



3 PROPOSED - SOUTH ELEVATION
A-11 SCALE: 1/8" = 1'-0"



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Cleveland, OH 44103
LDAArchitecture.com
216.932.1890

REV	DATE	DESCRIPTION
	06.30.2023	NPS REVIEW
	08.30.2023	NPS/SHPO REVIEW
	04.08.2025	LANDMARKS DESIGN REVIEW

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PROPOSED EXTERIOR ELEVATIONS
A-11

EXTERIOR MATERIAL SCHEDULE					
TAG	DESCRIPTION	LOCATION	MANUFACTURER	COLOR/FINISH	COMMENTS
BRICK					
BR-1	(E) BRICK VENEER TO REMAIN	EXISTING BUILDING			
GUTTERS & DOWNSPOUTS					
AL-1	PAC-TITE LT GUTTERS/ DOWNSPOUTS	EXISTING BUILDING AND ADDITION, TYP.	PAC-CLAD	MEDIUM BRONZE	HALF ROUND 6" X 6" / 3" ROUND
AL-2	PAC-TITE LT DOWNSPOUTS	EXISTING BUILDING ALONG PORCH ROOF	PAC-CLAD	MEDIUM BRONZE	3" ROUND
PT PAINT					
PT-1	A-100 EXTERIOR ACRYLIC LATEX	2ND & 3RD LEVEL TRIM, PORCH COLUMNS, FASCIA, RAFTER TAILS	SHERWIN WILLIAMS	SW 7550 RESORT TAN	UNO ALL TO BE REPAINTED
PT-2	A-100 EXTERIOR ACRYLIC LATEX	LAP SIDING AT EXISTING BUILDING AND ADDITION	SHERWIN WILLIAMS	SW 0006 TOILE RED	UNO ALL TO BE REPAINTED
PT-3	A-100 EXTERIOR ACRYLIC LATEX	1ST LEVEL TRIM, 2ND & 3RD LEVEL PLASTER, ADDITION PANEL SIDING AND TRIM	SHERWIN WILLIAMS	SW 7011 NATURAL CHOICE	UNO ALL TO BE REPAINTED
RF ROOF					
RF-1	(N) TPO ROOF	EXISTING BUILDING, REFER TO SPECIFICATIONS			
RF-2	(N) ASPHALT SHINGLE ROOF	EXISTING BUILDING, REFER TO SPECIFICATIONS	CERTAINTEED	LANKMARK PRO, MAX DEF HEATHER BLEND ASPHALT SHINGLE	
RF-3	(N) TPO ROOF	ADDITION			
STONE					
ST-1	(E) STONE VENEER TO REMAIN	EXISTING BUILDING			
STOREFRONT					
STF	PREFINISHED	ADDITION	TUBELITE	T24650 TYP., ARCH TO SELECT COLOR FROM MFG'S FULL RANGE	



PROPOSED EXTERIOR COLOR SCHEME - SOUTH ELEVATION



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EXTERIOR COLORS LEGEND

SWATCH	LOCATION
<div>SW 7550 RESORT TAN</div>	MAIN HOUSE TIMBERS, RAFTER TAILS, PORCH COLUMNS, FASCIA
<div>SW 0006 TOILE RED</div>	MAIN HOUSE AND ADDITION LAP SIDING
<div>SW 7011 NATURAL CHOICE</div>	MAIN HOUSE PLASTER AND FIRST FLOOR TRIM, ADDITION PANEL SIDING AND TRIM
<div>PAC-CLAD MEDIUM BRONZE</div>	MAIN HOUSE AND ADDITION GUTTERS AND DOWNSPOUTS

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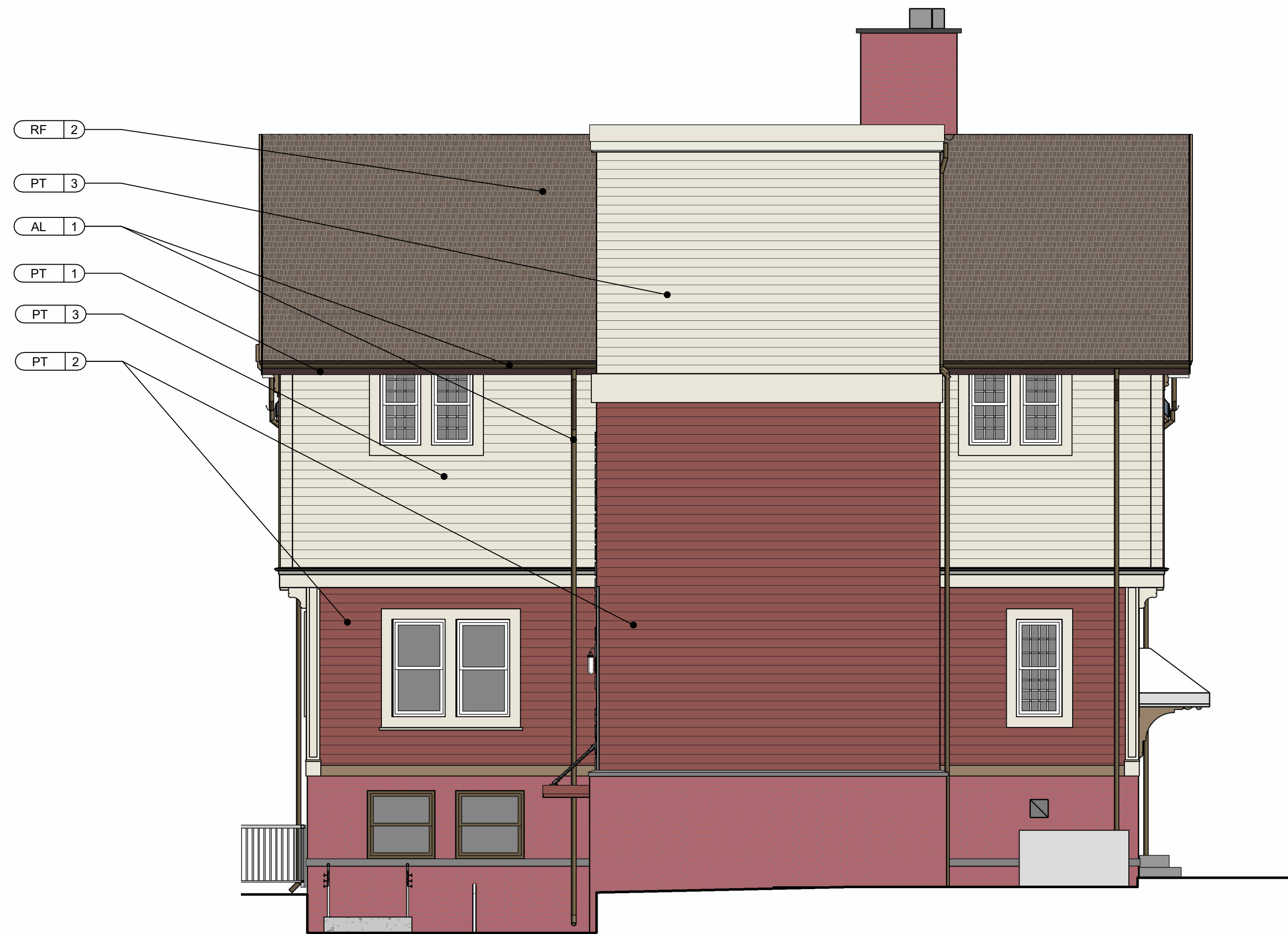
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EXTERIOR COLOR SCHEME -
SOUTH
A-12


EXTERIOR MATERIAL SCHEDULE					
TAG	DESCRIPTION	LOCATION	MANUFACTURER	COLOR/FINISH	COMMENTS
BRICK					
BR-1	(E) BRICK VENEER TO REMAIN	EXISTING BUILDING			
GUTTERS & DOWNSPOUTS					
AL-1	PAC-TITE LT GUTTERS/ DOWNSPOUTS	EXISTING BUILDING AND ADDITION, TYP.	PAC-CLAD	MEDIUM BRONZE	HALF ROUND 6" X 6" / 3" ROUND
AL-2	PAC-TITE LT DOWNSPOUTS	EXISTING BUILDING ALONG PORCH ROOF	PAC-CLAD	MEDIUM BRONZE	3" ROUND
PT PAINT					
PT-1	A-100 EXTERIOR ACRYLIC LATEX	2ND & 3RD LEVEL TRIM, PORCH COLUMNS, FASCIA, RAFTER TAILS	SHERWIN WILLIAMS	SW 7550 RESORT TAN	UNO ALL TO BE REPAINTED
PT-2	A-100 EXTERIOR ACRYLIC LATEX	LAP SIDING AT EXISTING BUILDING AND ADDITION	SHERWIN WILLIAMS	SW 0006 TOILE RED	UNO ALL TO BE REPAINTED
PT-3	A-100 EXTERIOR ACRYLIC LATEX	1ST LEVEL TRIM, 2ND & 3RD LEVEL PLASTER, ADDITION PANEL SIDING AND TRIM	SHERWIN WILLIAMS	SW 7011 NATURAL CHOICE	UNO ALL TO BE REPAINTED
RF ROOF					
RF-1	(N) TPO ROOF	EXISTING BUILDING, REFER TO SPECIFICATIONS			
RF-2	(N) ASPHALT SHINGLE ROOF	EXISTING BUILDING, REFER TO SPECIFICATIONS	CERTAINTEED	LANKMARK PRO, MAX DEF HEATHER BLEND ASPHALT SHINGLE	
RF-3	(N) TPO ROOF	ADDITION			
STONE					
ST-1	(E) STONE VENEER TO REMAIN	EXISTING BUILDING			
STOREFRONT					
STF	PREFINISHED	ADDITION	TUBELITE	T24650 TYP., ARCH TO SELECT COLOR FROM MFG'S FULL RANGE	



PROPOSED EXTERIOR COLOR SCHEME - EAST ELEVATION







PROPOSED EXTERIOR COLOR SCHEME - WEST ELEVATION



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EXTERIOR COLORS LEGEND

SWATCH	LOCATION
 SW 7550 RESORT TAN	MAIN HOUSE TIMBERS, RAFTER TAILS, PORCH COLUMNS, FASCIA
 SW 0006 TOILE RED	MAIN HOUSE AND ADDITION LAP SIDING
 SW 7011 NATURAL CHOICE	MAIN HOUSE PLASTER AND FIRST FLOOR TRIM, ADDITION PANEL SIDING AND TRIM
 PAC-CLAD MEDIUM BRONZE	MAIN HOUSE AND ADDITION GUTTERS AND DOWNSPOUTS

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EXTERIOR COLOR SCHEME -
EAST & WEST
A-13

EXTERIOR MATERIAL SCHEDULE					
TAG	DESCRIPTION	LOCATION	MANUFACTURER	COLOR/FINISH	COMMENTS
BRICK					
BR-1	(E) BRICK VENEER TO REMAIN	EXISTING BUILDING			
GUTTERS & DOWNSPOUTS					
AL-1	PAC-TITE LT GUTTERS/ DOWNSPOUTS	EXISTING BUILDING AND ADDITION, TYP.	PAC-CLAD	MEDIUM BRONZE	HALF ROUND 6" X 6" / 3" ROUND
AL-2	PAC-TITE LT DOWNSPOUTS	EXISTING BUILDING ALONG PORCH ROOF	PAC-CLAD	MEDIUM BRONZE	3" ROUND
PT PAINT					
PT-1	A-100 EXTERIOR ACRYLIC LATEX	2ND & 3RD LEVEL TRIM, PORCH COLUMNS, FASCIA, RAFTER TAILS	SHERWIN WILLIAMS	SW 7550 RESORT TAN	UNO ALL TO BE REPAINTED
PT-2	A-100 EXTERIOR ACRYLIC LATEX	LAP SIDING AT EXISTING BUILDING AND ADDITION	SHERWIN WILLIAMS	SW 0006 TOILE RED	UNO ALL TO BE REPAINTED
PT-3	A-100 EXTERIOR ACRYLIC LATEX	1ST LEVEL TRIM, 2ND & 3RD LEVEL PLASTER, ADDITION PANEL SIDING AND TRIM	SHERWIN WILLIAMS	SW 7011 NATURAL CHOICE	UNO ALL TO BE REPAINTED
RF ROOF					
RF-1	(N) TPO ROOF	EXISTING BUILDING, REFER TO SPECIFICATIONS			
RF-2	(N) ASPHALT SHINGLE ROOF	EXISTING BUILDING, REFER TO SPECIFICATIONS	CERTAINTEED	LANKMARK PRO, MAX DEF HEATHER BLEND ASPHALT SHINGLE	
RF-3	(N) TPO ROOF	ADDITION			
STONE					
ST-1	(E) STONE VENEER TO REMAIN	EXISTING BUILDING			
STOREFRONT					
STF	PREFINISHED	ADDITION	TUBELITE	T24650 TYP., ARCH TO SELECT COLOR FROM MFG'S FULL RANGE	







PROPOSED EXTERIOR COLOR SCHEME - NORTH ELEVATION



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EXTERIOR COLORS LEGEND

SWATCH	LOCATION
 SW 7550 RESORT TAN	MAIN HOUSE TIMBERS, RAFTER TAILS, PORCH COLUMNS, FASCIA
 SW 0006 TOILE RED	MAIN HOUSE AND ADDITION LAP SIDING
 SW 7011 NATURAL CHOICE	MAIN HOUSE PLASTER AND FIRST FLOOR TRIM, ADDITION PANEL SIDING AND TRIM
 PAC-CLAD MEDIUM BRONZE	MAIN HOUSE AND ADDITION GUTTERS AND DOWNSPOUTS

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EXTERIOR COLOR SCHEME - NORTH
A-14



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RENDERING

A-15



WEST ELEVATION PERSPECTIVE



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RENDERING
A-16



SOUTHWEST CORNER PERSPECTIVE



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RENDERING
A-17



SOUTH ELEVATION PERSPECTIVE

LDA

ARCHITECTS

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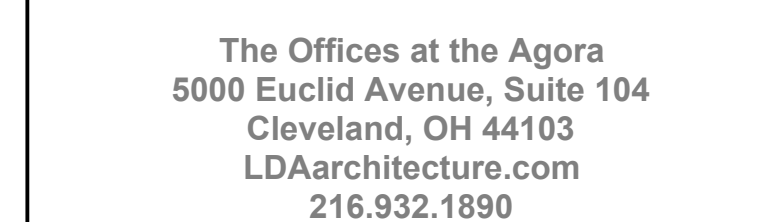
RENDERING

A-18

SOUTHEAST CORNER PERSPECTIVE - LANDMARKS ALTERNATIVE 2

SOUTHEAST CORNER PERSPECTIVE - LANDMARKS ALTERNATIVE 1

SOUTHEAST CORNER PERSPECTIVE - ORIGINAL DESIGN

[illegible]

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RENDERING

A-19



SOUTHEAST CORNER PERSPECTIVE - PROPOSED DESIGN

Case 25-028

Certificate of Appropriateness

Warehouse Historic District

Schematic Review
completed April 25th, 2025

Juliet + Uva
1313 West 6th Street

Patio Enclosure

Project Representatives: Bob Bajko, HSB Architects

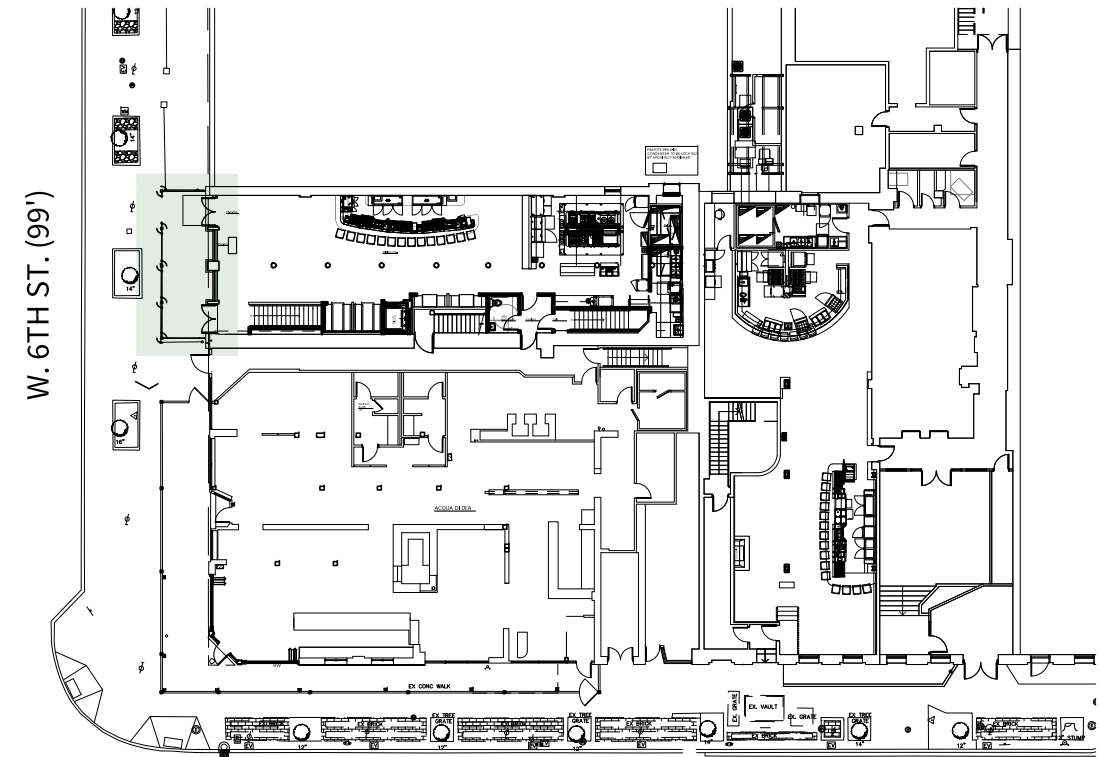
Ward 3: Councilmember McCormack



JULIET/UVA FRENCH RESTAURANT + WINE BAR

Lola Macaj is planning her 3rd restaurant in the warehouse district. Building on the success of Acqua di Dea in 2021 and Oliva in 2024, she is proud to announce her new, dual concept.

JULIET - A fine dining, french experience
and
UVA - a sophisticated wine bar



W. ST. CLAIR AVE.

PROJECT LOCATION



EXISTING STOREFRONT



EXISTING PATIO

OUTDOOR SEATING CANOPY

1313 W 6TH ST.,
CLEVELAND, OH



Corner of W. 6th & St. Clair



Acqua di Dea and Juliet Storefronts



Outdoor Dining Areas



Existing Storefront



Existing Facade



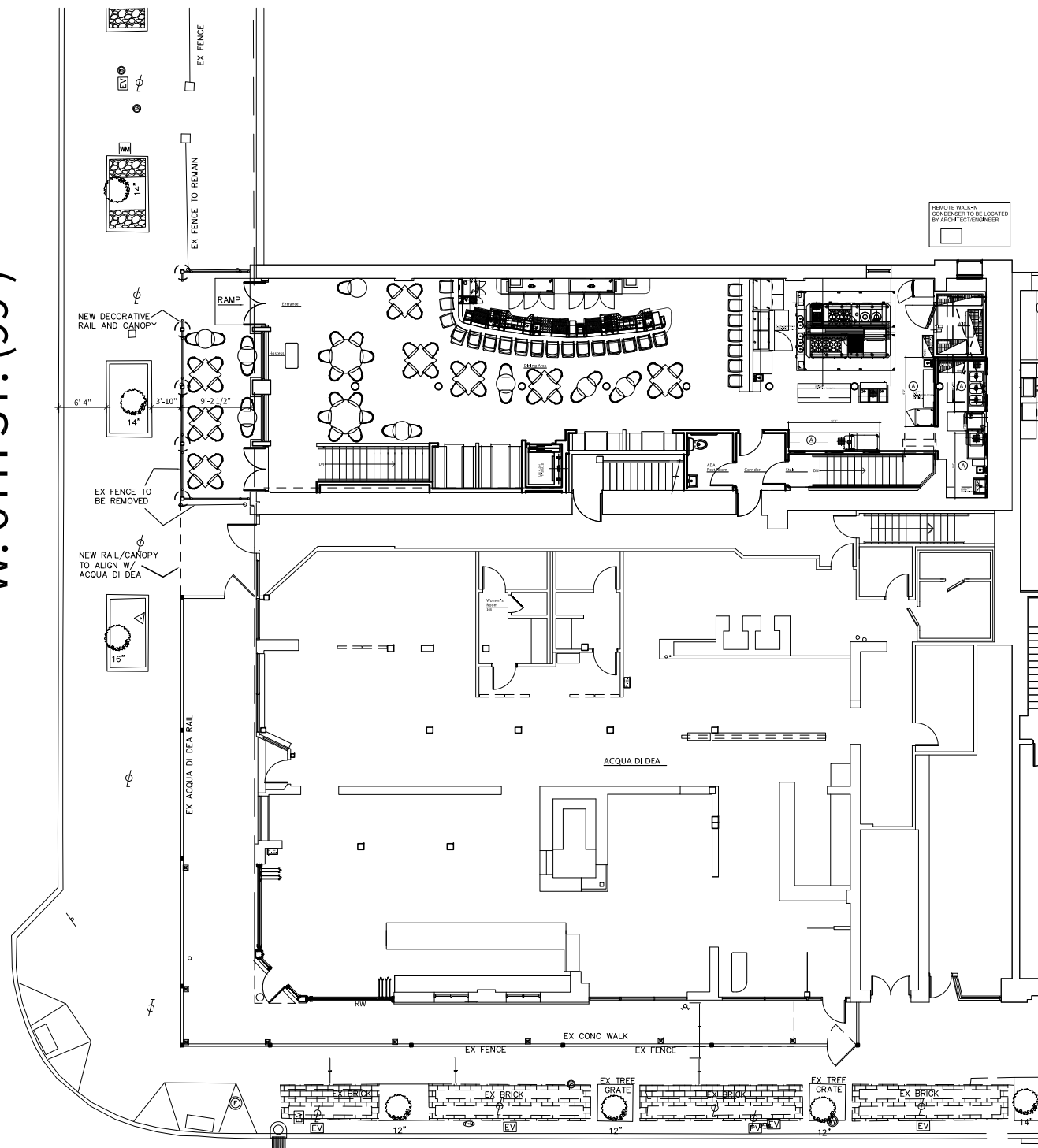
View of Header

OUTDOOR SEATING CANOPY

1313 W 6TH ST.,
CLEVELAND, OH

EXISTING PHOTOS

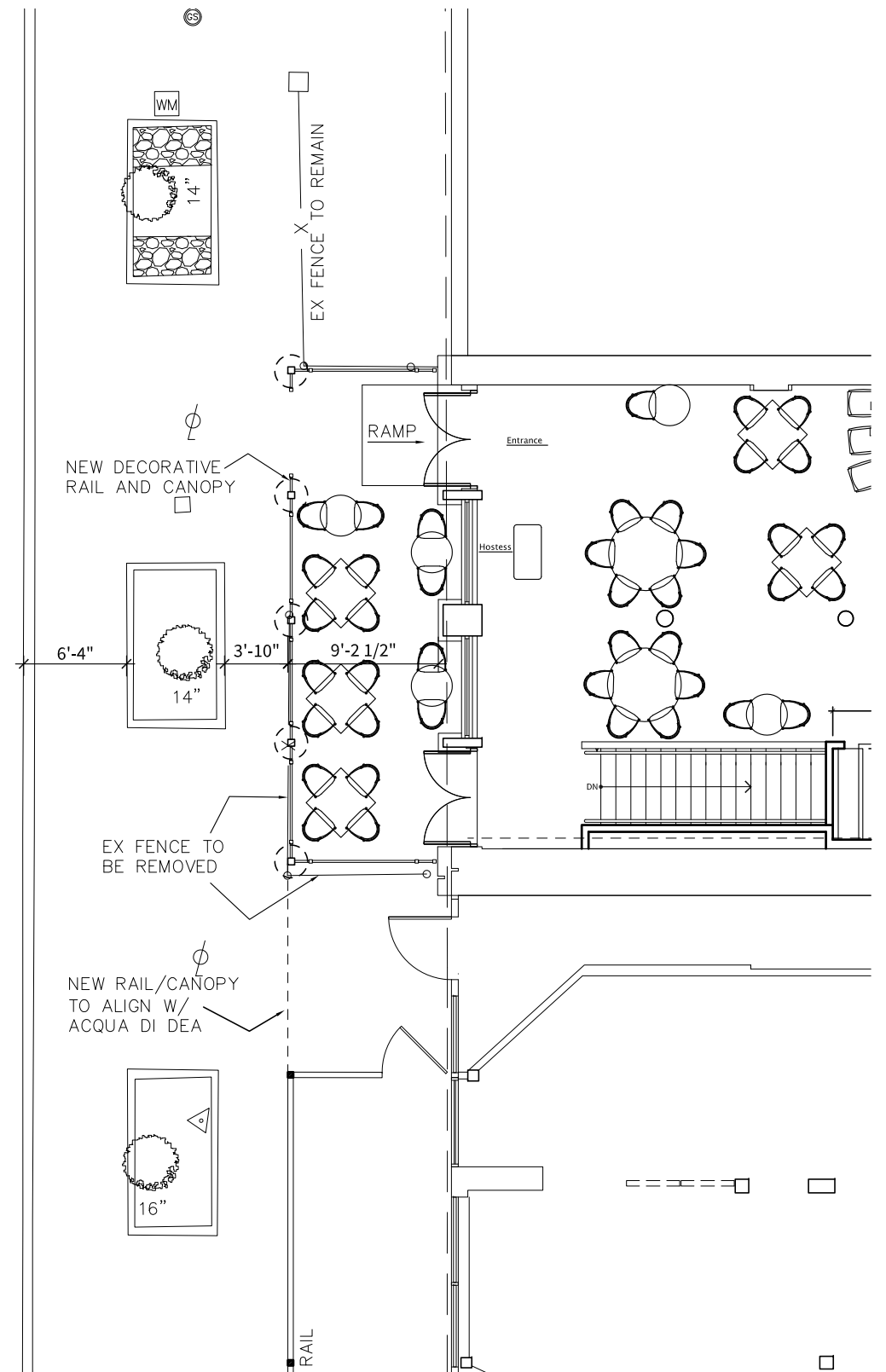
W. 6TH ST. (99')



W. ST. CLAIR AVE.

OVERALL PLAN
1" = 20'

W. 6TH ST. (99')

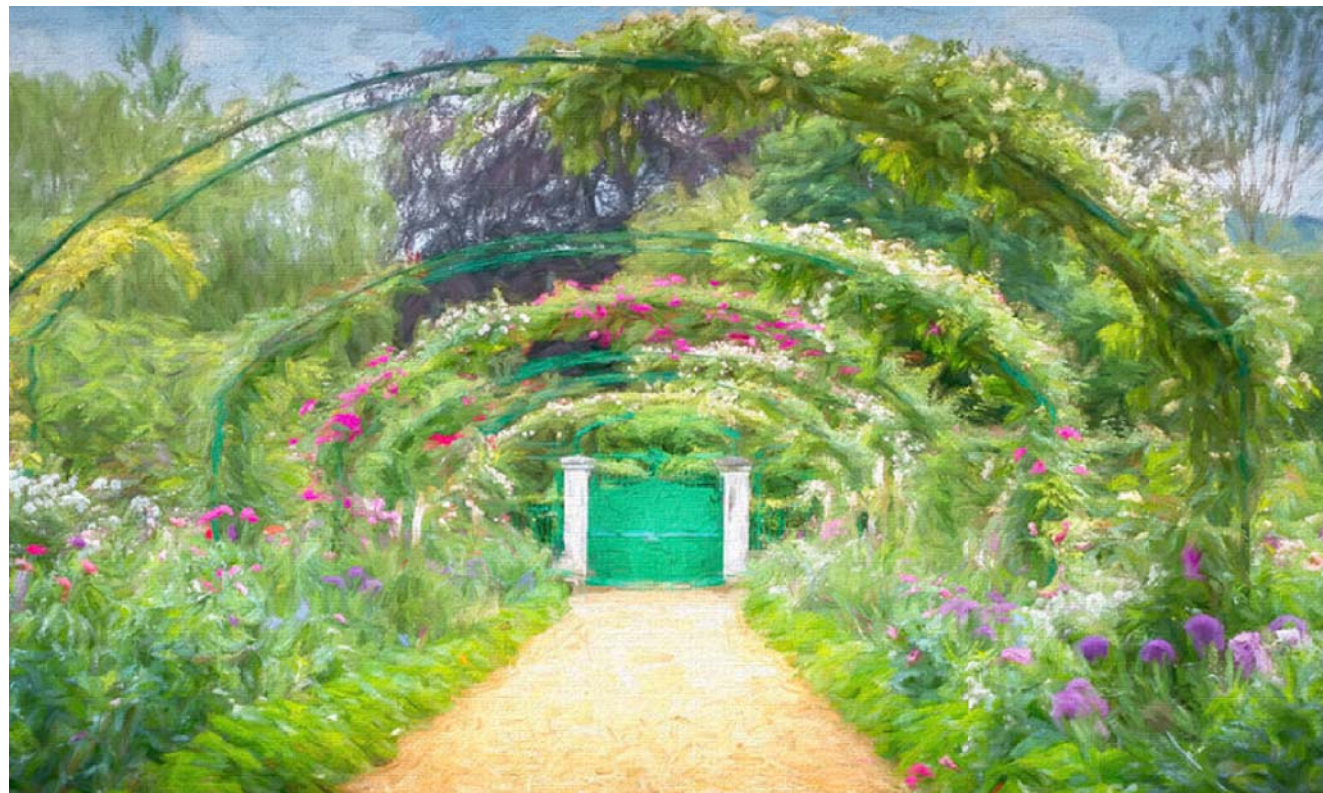
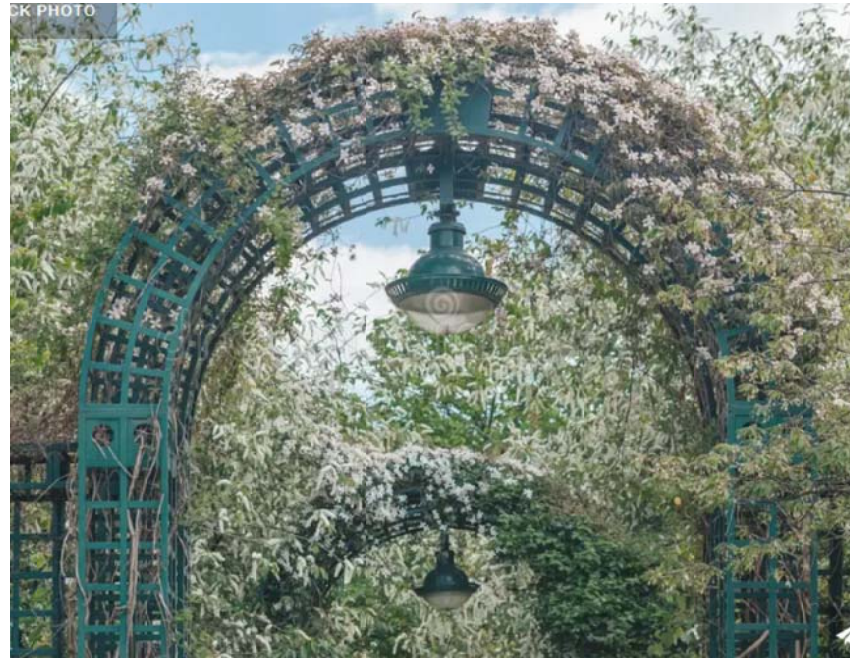


ENLARGED PLAN
1" = 10'

JULIET/UVA

1313 W 6TH ST.,
CLEVELAND, OH

DESIGN PLAN



OUTDOOR SEATING CANOPY

1313 W 6TH ST.,
CLEVELAND, OH

INSPIRATION







JULIET/UVA

1313 W 6TH ST.,
CLEVELAND, OH

DESIGN RENDERING

SCALE: NTS



JULIET/UVA

1313 W 6TH ST.,
CLEVELAND, OH

DESIGN RENDERING

SCALE: NTS

Case 25-037

Certificate of Appropriateness

Dunham Tavern

Dunham Tavern Visitor Center 6709 Euclid Avenue

New Construction

Project Representatives: Tom Zarfoss, Behnke Landscape Architecture

Ward 7: Councilmember Howse-Jones

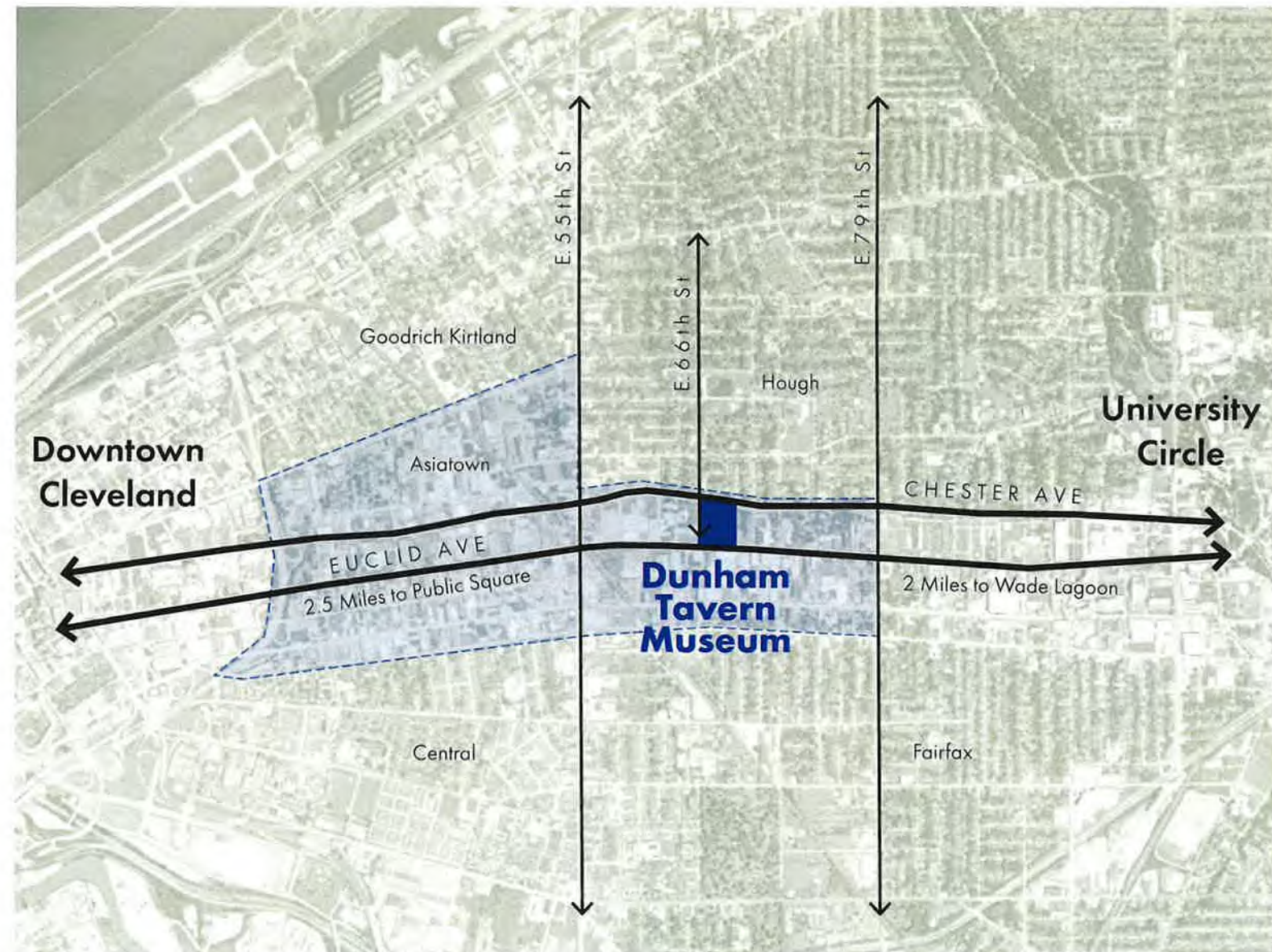
**Dunham Tavern master
plan
Case 21-087**



Cleveland Context

This Master Plan acknowledges the significance of this work in context to important east side neighborhoods and assets in addition to connections to downtown Cleveland and University Circle approximately two miles in each direction.

The Dunham Tavern Museum has the potential to serve as an important node east and west along Chester and Euclid Avenues in addition to serving as an anchor along E. 66th Street.



MidTown Context

In MidTown, the recently completed Neighborhood Vision Plan creates a five year framework for equitable and inclusive growth that values connectivity and open space as key elements creating better quality of life for the MidTown community. The Dunham Tavern Museum is located at the southern end of E. 66th Street, a one mile north-south corridor connecting the Hough neighborhood north of the Museum to its campus. A recent planning study envisions E. 66th Street rebuilt with a focus on green infrastructure, smart technology, accessibility, and pedestrian and cyclist connectivity for safety, comfort, and delight. This “Black Avenue” will connect neighborhood residents to existing and historic assets including League Park, the Baseball Heritage Museum, Chateau Hough, Dave’s Market, and Gallucci’s among others, and new development including the Cleveland Public Library Hough Branch, the Allen Estates, MAGNET, and the Cleveland Foundation Headquarters.

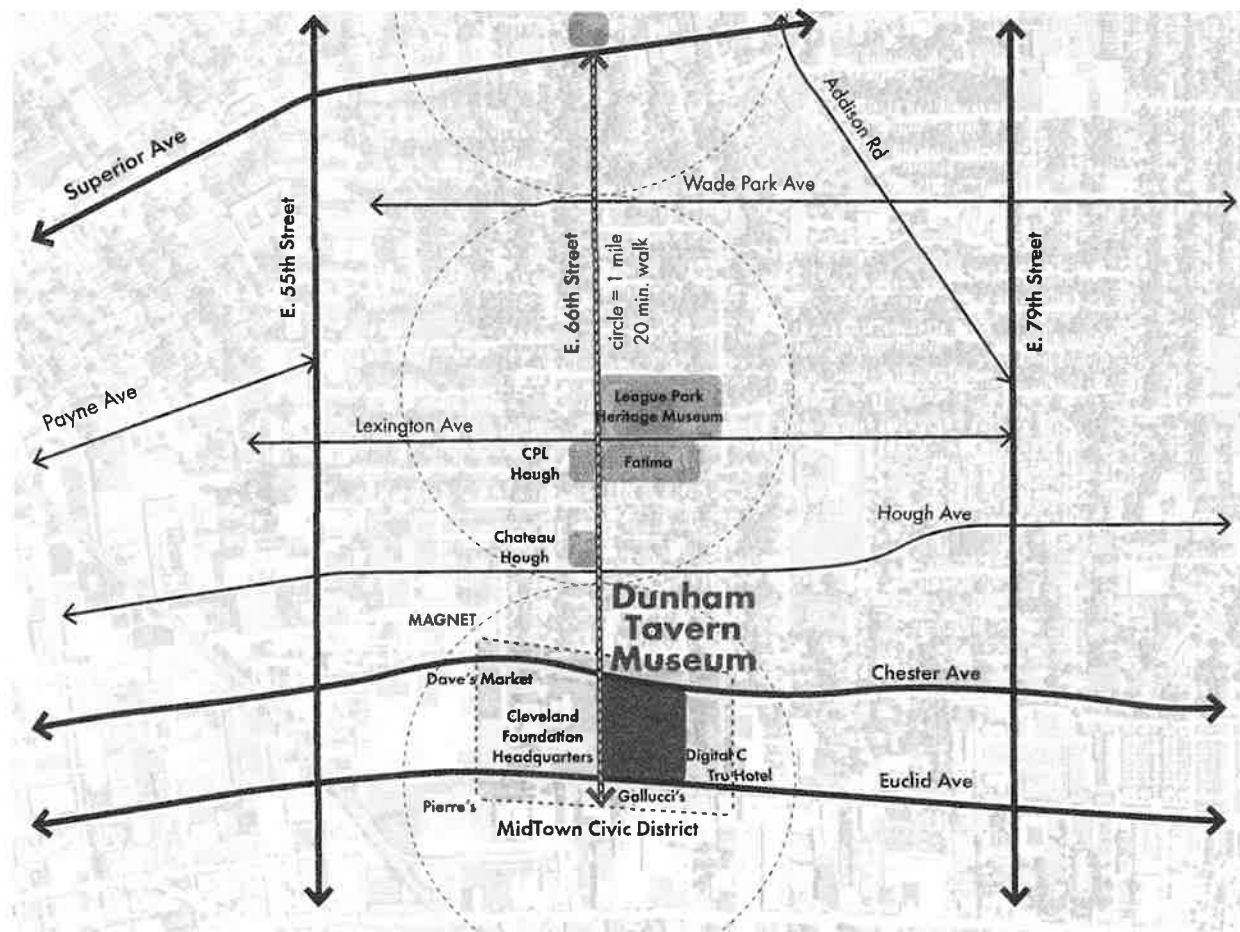
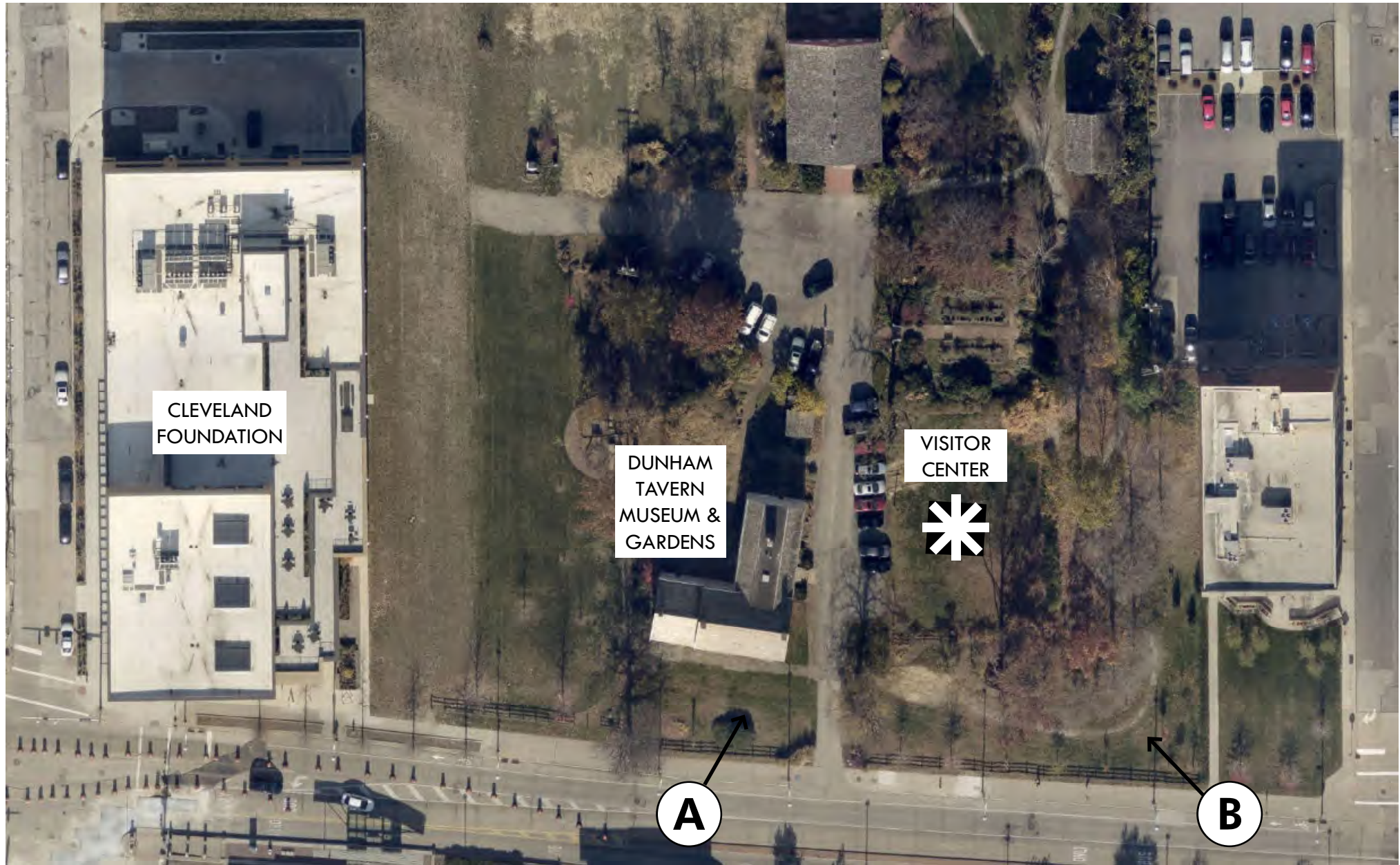


PHOTO LOCATION MAP



PHOTOS

A



B



PAVEMENT EDGE

CURVE PC (POINT OF CURVATURE,) AND PT (POINT OF TANGENCY)

LIMITS OF WORK

1. THIS SHEET IS FOR SITE LAYOUT & DETAIL REFERENCE ONLY.
2. ALL DIMENSIONS/COORDINATES TO FACE OF CURBS AND WALLS, UNLESS NOTED OTHERWISE ON DRAWING.
3. PROVIDE CONTROL JOINTS ON CURBS EVERY 10', MAX., AND AT P.C.'S AND P.T.'S.
4. SITE UTILITIES AND PROPERTY LINE ARE SHOWN FOR REFERENCE ONLY.
5. THIS DRAWING WILL BE AVAILABLE TO CONTRACTOR IN CAD FORMAT, FOR LAYOUT PURPOSES.
6. PROVIDE 4" OF TOPSOIL AND SEED ALL DISTURBED AREAS. UNLESS SEED HAS FULLY GERMINATED PRIOR TO BUILDING THE PAVEMENT, MULCHING SEED WITH STRAW BLANKETS.

SCM	DRAINAGE AREA
PP-1 : 2,622 S.F.	7,3% S.F.
PP-2 : 837 S.F.	1,900 S.F.

Dunham Tavern Museum & Gardens
Visitor Center

Visitor Center

Green Infrastructure Improvements

6709 Euclid Avenue
Cleveland, Ohio 44103

[illegible]

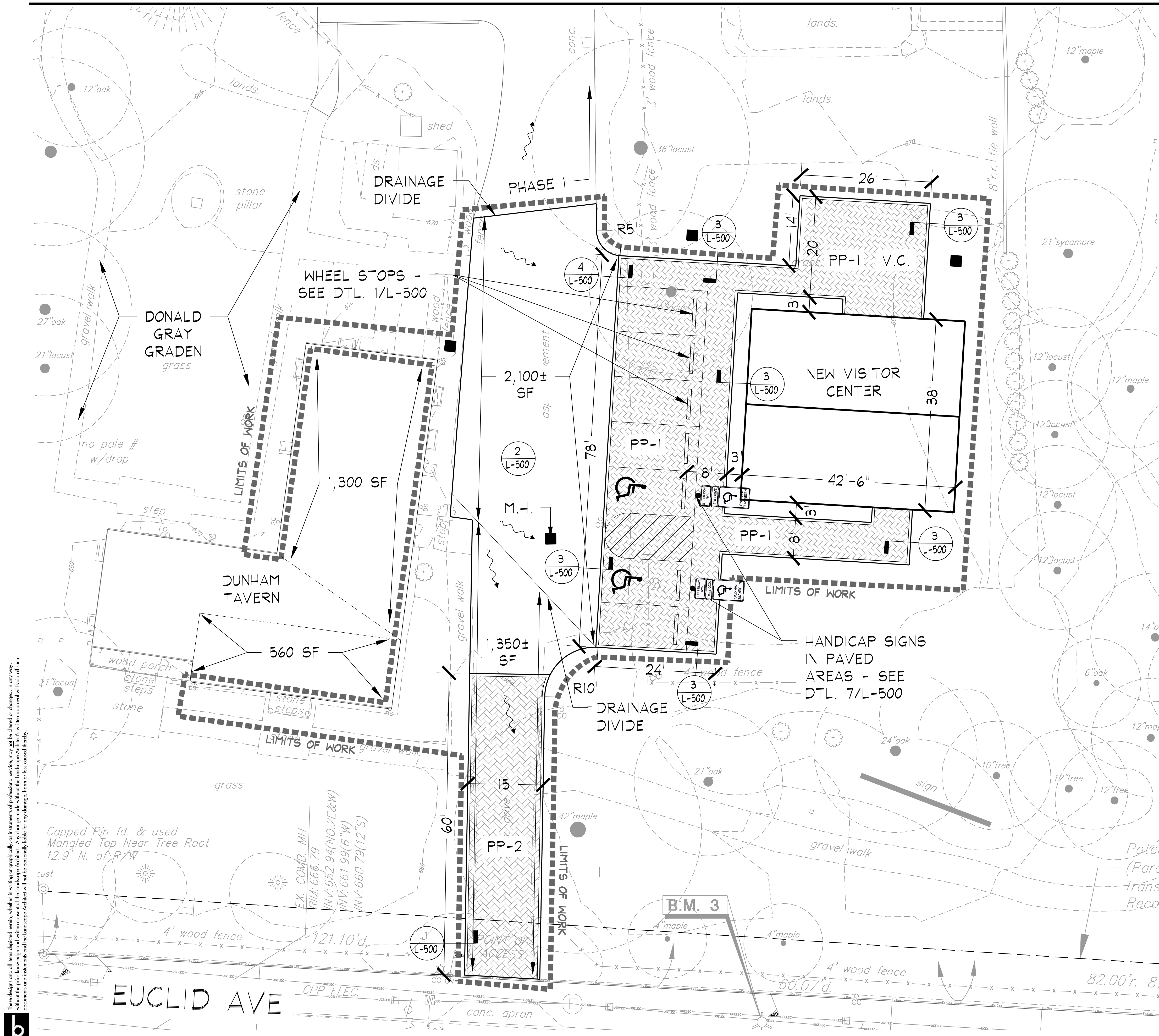
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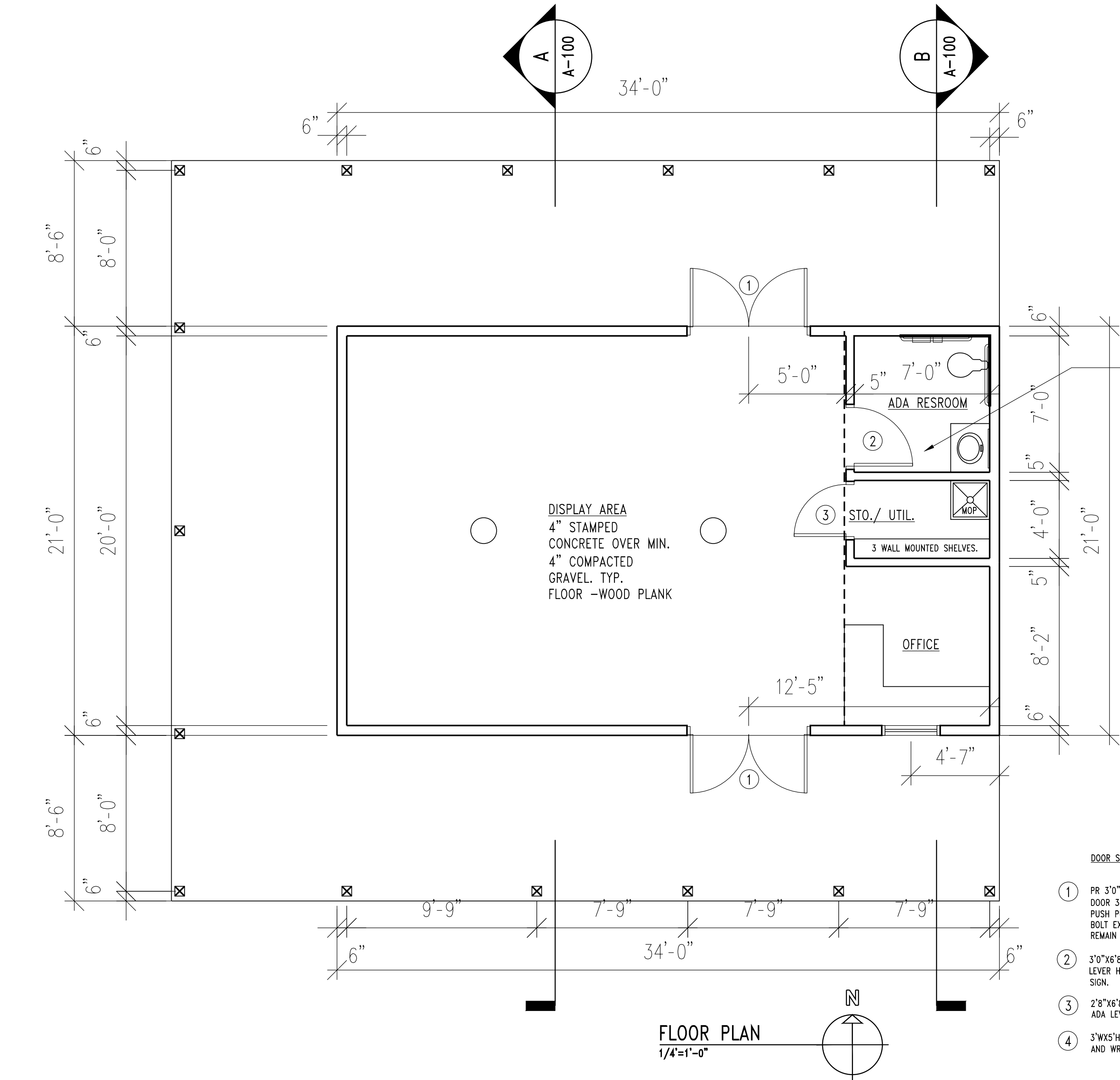
1-800-362-2764
CALL TWO WORKING DAYS BEFORE YOU DIG
(NON MEMBERS MUST BE CALLED DIRECTLY)

Layout Plan

L-200

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DOOR SCHEDULE

- ① PR 3'0"x6'8" 4 TEMPERED GLASS PANEL ALUM. STOREFRONT DOOR 3PR BUTT HINGES W/ NON-REMOVABLE PINS, WITH ADA PUSH PULL CLOSER, THRESHOLD, WEATHER STRIP, KEYED DEAD BOLT EXTERIOR, THUMB TURN INTERIOR, SIGN STATING DOOR TO REMAIN UNLOCKED DURING OCCUPIED HOURS.
- ② 3'0"x6'8" 4 PANEL WOOD DOOR 1 1/2 PR BUTT HINGES WITH ADA LEVER HANDLE AND PRIVACY LOCK WITH OCCUPIED / UNOCCUPIED SIGN.
- ③ 2'8"x6'8" 4 PANEL WOOD DOOR 1 1/2 PR BUTT HINGES WITH ADA LEVER HANDLE AND STORE ROOM FUNCTION.
- ④ 3'WXS'H SLIDING "BARN" DOOR ACCESS HATCH WITH TRACK AND WROUGHT IRON HANDLE. SEE MPE-100

GENERAL NOTES:

THE CONTRACTOR(S) WARRANTS THAT ALL CONSTRUCTION AND INSTALLATION WORK FOR THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL THE REQUIREMENTS OF LOCAL, STATE & FEDERAL LAWS AND AUTHORITIES HAVING JURISDICTION.

IT IS THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS. ANY VARIATIONS BETWEEN ACTUAL CONDITIONS AND THOSE SHOWN ON THE CONTRACT DOCUMENT DRAWINGS SHALL BE PRESENTED TO THE ARCHITECT PRIOR TO SUBMITTING ANY BID. NO EXTRAS OR CONSIDERATIONS WILL BE GIVEN FOR CONFLICTS BETWEEN ACTUAL CONDITIONS AND THOSE SHOWN ON THE CONSTRUCTION DOCUMENT DRAWINGS.

ANY SUBSTITUTIONS, CHANGES OR DELETIONS OF MATERIALS, TECHNIQUES OR LOCATIONS SHALL BE PRESENTED TO THE ARCHITECT FOR APPROVAL PRIOR TO SUBMITTING ANY BID/S; OTHERWISE WORK SHALL BE BID AND CONSTRUCTED AS SHOWN IN THE CONTRACT CONSTRUCTION DOCUMENT DRAWINGS.

THE CONTRACT DOCUMENTS, IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED OR DEVELOPED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

ALL WORK AND MATERIALS NORMALLY REQUIRED PER INDUSTRY STANDARDS TO COMPLETE THE WORK, ALTHOUGH NOT INDICATED SPECIFICALLY, SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR AS IF SHOWN ON THE CONSTRUCTION DOCUMENT DRAWINGS. FAILURE TO SHOW OR INDICATE MINUTE DETAILS SHALL NOT WARRANT OMISSION OF NECESSARY WORK FOR THE PROPER COMPLETION OF THE PROJECT.

VISUAL CONTACT WITH THESE CONSTRUCTION DOCUMENT DRAWINGS AND/OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE REQUIREMENTS & RESTRICTIONS.

USE WRITTEN DIMENSIONS ONLY (DO NOT SCALE DRAWINGS) DIMENSIONS INDICATED WITH A (+) MUST BE FIELD VERIFIED.

THE CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL MECHANICAL, ELECTRICAL AND PLUMBING INSTALLATIONS WITH THE STRUCTURAL SYSTEM TO ASSURE PROPER CLEARANCES CAN BE ACHIEVED PRIOR TO FINAL SELECTION AND FABRICATION OF ANY SYSTEMS.

REPORT ALL DISCREPANCIES OR CONFLICTS IN DIMENSIONS, CODE COMPLIANCE AND/OR OTHER TO ARCHITECT PRIOR TO PROCEEDING WITH THE PROJECT WORK OR ORDERING ANY MATERIALS.

IF CONDITIONS AT THE PROJECT JOB SITE ARE DIFFERENT THAN THOSE INDICATED IN THE CONTRACT CONSTRUCTION DOCUMENTS, CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IN WRITTEN FORM.

THE CONTRACTOR SHALL VERIFY DIMENSIONS PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR COORDINATING ROUGH OPENINGS AND DIMENSIONS IN THE FIELD FOR ALL TRADES.

DO NOT PROCEED WITH CHANGES TO THESE CONSTRUCTION DOCUMENT BASED ON VERBAL INSTRUCTIONS. WRITTEN AUTHORIZATION BY THE ARCHITECT FOR CHANGES MUST BE RECEIVED PRIOR TO MAKING ANY CHANGES AND ORDERING MATERIALS.

IT IS EACH CONTRACTORS RESPONSIBILITY TO CHECK MODEL NUMBERS OF ALL COMPONENTS SPECIFIED FOR THIS PROJECT WITH DESCRIPTION OF PRODUCT FOR CONFORMANCE WITH DESIGN INTENT. NOTIFY ARCHITECT OF ANY DISCREPANCIES DISCOVERED PRIOR TO ORDERING OF MATERIALS.

PROVIDE PENETRATORS, OPENINGS AND SLEEVES FOR MECHANICAL AND ELECTRICAL WORK AS REQUIRED BY THE CONSTRUCTION DOCUMENT DRAWINGS, OR IF NOT SHOWN, FOLLOW APPLICABLE INDUSTRY STANDARD.

DEMOLITION:

PROVIDE ALL DEMOLITION AS INDICATED ON DRAWINGS AND AS REQUIRED TO COMPLETE THE WORK. PROVIDE REQUIRED TEMPORARY BRACING. ALL DEMOLITION IS SHOWN DASHED UNLESS OTHERWISE INDICATED.

PROVIDE ALL CUTTING AND PATCHING OF EXISTING FLOORS, WALLS AND CEILINGS AS REQUIRED TO ACCOMMODATE NEW LAYOUT. PATCH, AS REQUIRED AND INDICATED, TO MATCH EXISTINGAND/OR NEW ADJACENT WALLS, FLOORS AND CEILINGS IN A MANNER TO ACHIEVE A SMOOTH EVEN AND UNIFORM APPEARANCE UNLESS OTHERWISE INDICATED.

STRUCTURAL NOTES: (GENERAL)

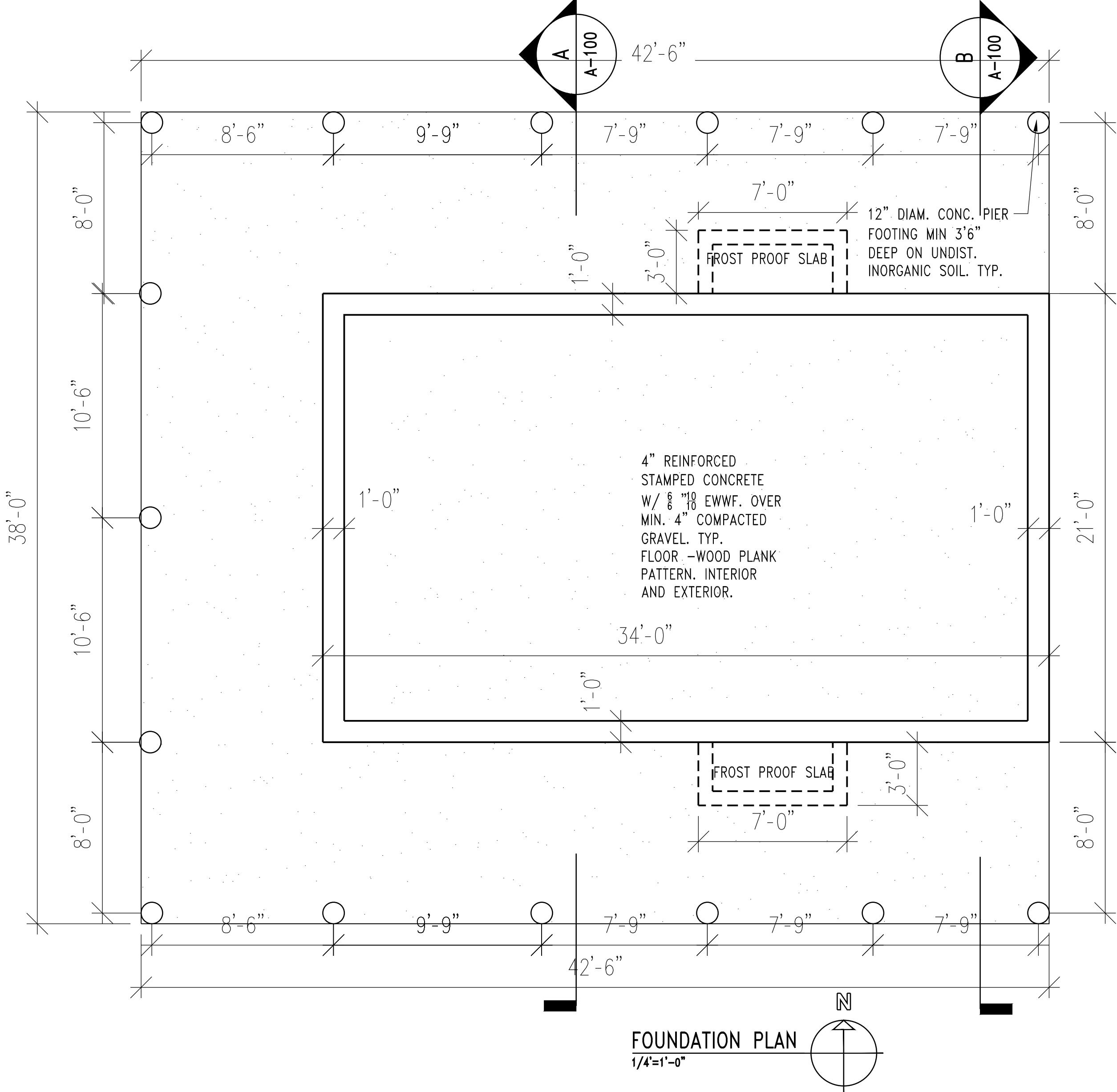
- THE STRUCTURE IS DESIGNED TO BE AND REMAIN SELF-SUPPORTING AND STABLE AFTER THE INDICATED PROJECT WORK IS FULLY COMPLETED. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE AND TO INSURE THE SAFETY OF THE BUILDING/S AND ALL ITS COMPONENT PARTS DURING ERECTION. THIS INCLUDES THE ADDITION OF WHATEVER TEMPORARY BRACING, SHORING, SHEETING, GUYS AND THE DOWNS WHICH MAY BE NECESSARY. ALL SUCH MATERIAL SHALL REMAIN THE CONTRACTORS PROPERTY AFTER THE PROJECT IS COMPLETED.
- SHOULD ANY OF THE DETAILED INSTRUCTIONS SHOWN ON THE CONSTRUCTION DOCUMENTS CONFLICT WITH THE GENERAL STRUCTURAL NOTES, STRUCTURAL SPECIFICATIONS, OR WITH EACH OTHER, THE STRICTEST PROVISION SHALL GOVERN.
- IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION.

DESIGN CRITERIA:

- DEAD LOAD FLOOR – 10 PSF LIVE LOAD FLOOR – 100 PSF
DEAD LOAD ROOF – 20 PSF LIVE LOAD ROOF– 25 PSF
- WIND LOAD 115 MPH EXPOSURE B
- GROUND SNOW LOAD – 30 PSF
- SEISMIC – SITE CLASSIFICATION (C) USE GROUP (1) DESIGN (A) (WIND LOAD GOVERNS)

CONCRETE

- CAST IN PLACE CONCRETE TO BE MIN. 4000 PSI STRENGTH.
- CAST IN PLACE CONCRETE FOOTINGS TO BE SET ON MIN. 1,500 P.S.F. SOIL BEARING.
- EXTERIOR CONCRETE FOOTINGS & PIERS SHALL BE SET A MIN. DEPTH OF 3'-6" BELOW FINISHED GRADE.
- ALL REINFORCING SHALL BE A.S.T.M. A-36.



FOUNDATION PLAN
1/4"=1'-0"

BUILDING CODE INFORMATION

USE GROUP	CONST. TYPE	SQUARE FEET	MAX. OCC.
B	VB	640	25

A 4" x 6" PLAQUE WITH THE ABOVE INFORMATION SHALL BE POSTED IN TWO PRIMARY ENTRY AREAS IN THE BUILDING.

ALLOWABLE SQ.FT./# OF STORIES 9,000 SQ. FT., 2 STORIES

GOVERNING CODES:
2024 OHIO BUILDING CODE, 2024 OHIO PLUMBING CODE, 2024 OHIO MECHANICAL CODE, 2024 NATIONAL ELECTRIC CODE, COMPLY WITH OBC NFPA REQUIREMENTS AND ALL APPLICABLE STATE OF OHIO AND LOCAL CODES.

- THIS PERMIT IS FOR THE RENOVATION OF THE EXISTING BUILDING XX,XXX SQ. FT. EACH FLOOR.
- FURNISH AND INSTALL FIRE EXTINGUISHERS (☞), NUMBER, TYPE AND LOCATION AS SHOWN AND PER LOCAL FIRE OFFICIAL HAVING JURISDICTION.
- ALL AREAS REQUIRED TO BE ACCESSIBLE SHALL BE IN COMPLIANCE WITH CHAP. 11 OF O.B.C. AND ICC A117.1-2009 INCLUDING, BUT NOT LIMITED TO DOORS AND HARDWARE, RESTROOMS AND COUNTERS.
- ALL INTERIOR FINISHES SHALL HAVE A MIN. FLAME SPREAD RATING AS FOLLOWS:
EXIT ACCESS – FLOORS A . . . WALLS & CEILINGS A
ROOMS & SPACES – FLOORS A . . . WALLS & CEILINGS A
- PER O.B.C. SECTION 1704.1 EXCEPTION 1 AND 1704.1.1 EXCEPTION 1. THIS BUILDING IS OF BASIC CONSTRUCTION AND MATERIALS AND NO SPECIAL INSPECTIONS ARE REQUIRED.
- PROVIDE 6"x6" TACTILE EXIT SIGN CENTERED AT 60" A.F.F. (EXIT). TYP. AT EXIT ACCESS AND DOOR LOCATIONS AS SHOWN.

FISCHER & ASSOCIATES



ARCHITECTS INC.

554 West Ninth Street

Lorain, Ohio 44052

Tel: (440) 315-2300

E mail: andrea@fischerarch.com

Fischer & Associates © 2025
ISSUE: DATE:

PRELIM	03/31/25
BID AND PERMIT	04/14/25
OWNER REV.	04/28/25

Client Name/Project Name/Address

DUNHAM TAVERN

(Visitor Center)

East 66th & Chester
Cleveland, Ohio 44103

Drawing Name

DRAWING TITLE

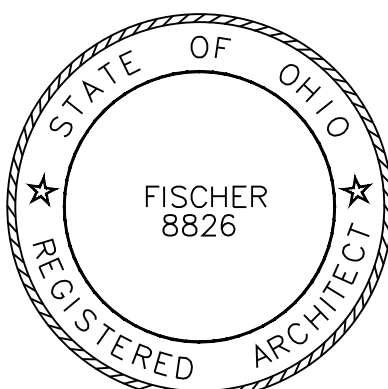
Fischer Project Number

25.017

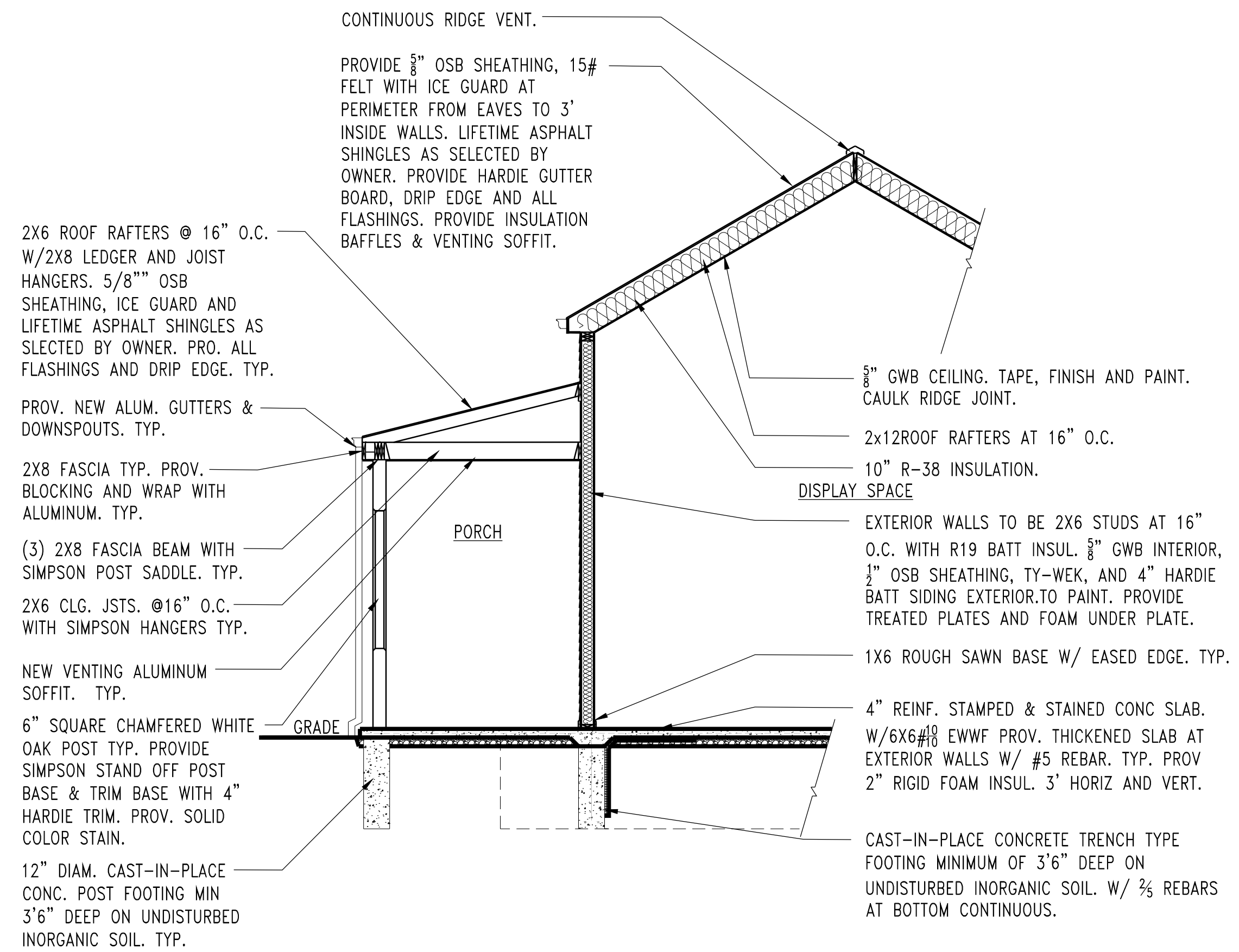
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A-100

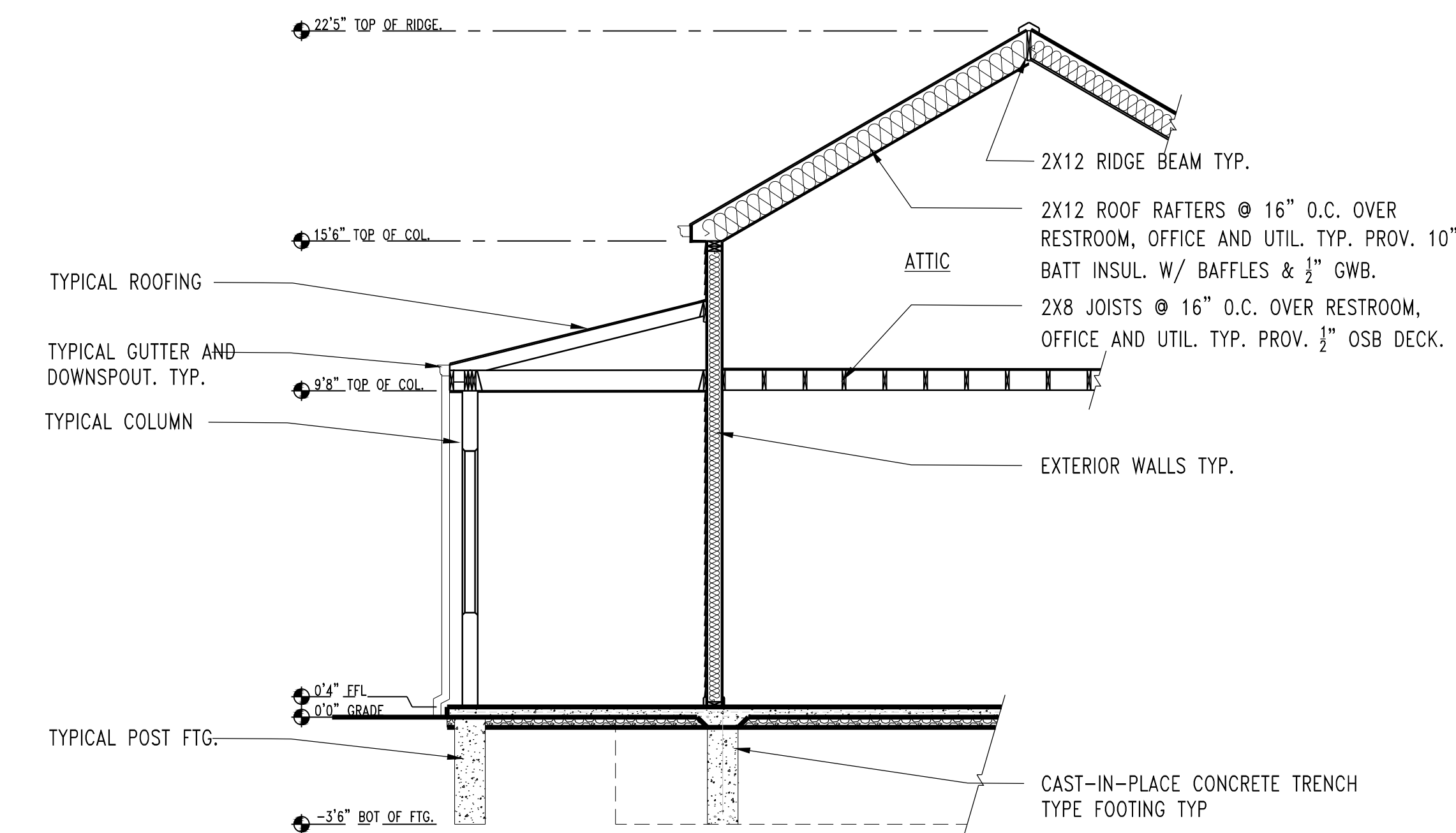
Seal



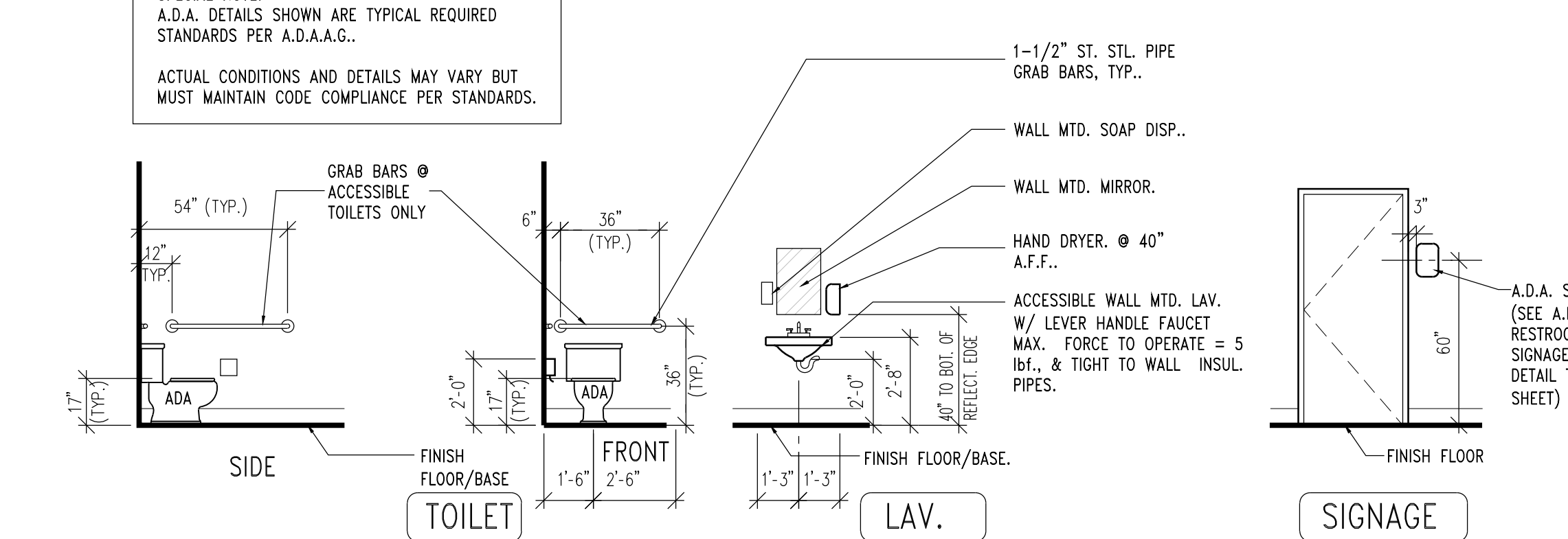
GARY FISCHER LICENSE #8826
EXPIRATION DATE 12/31/2025



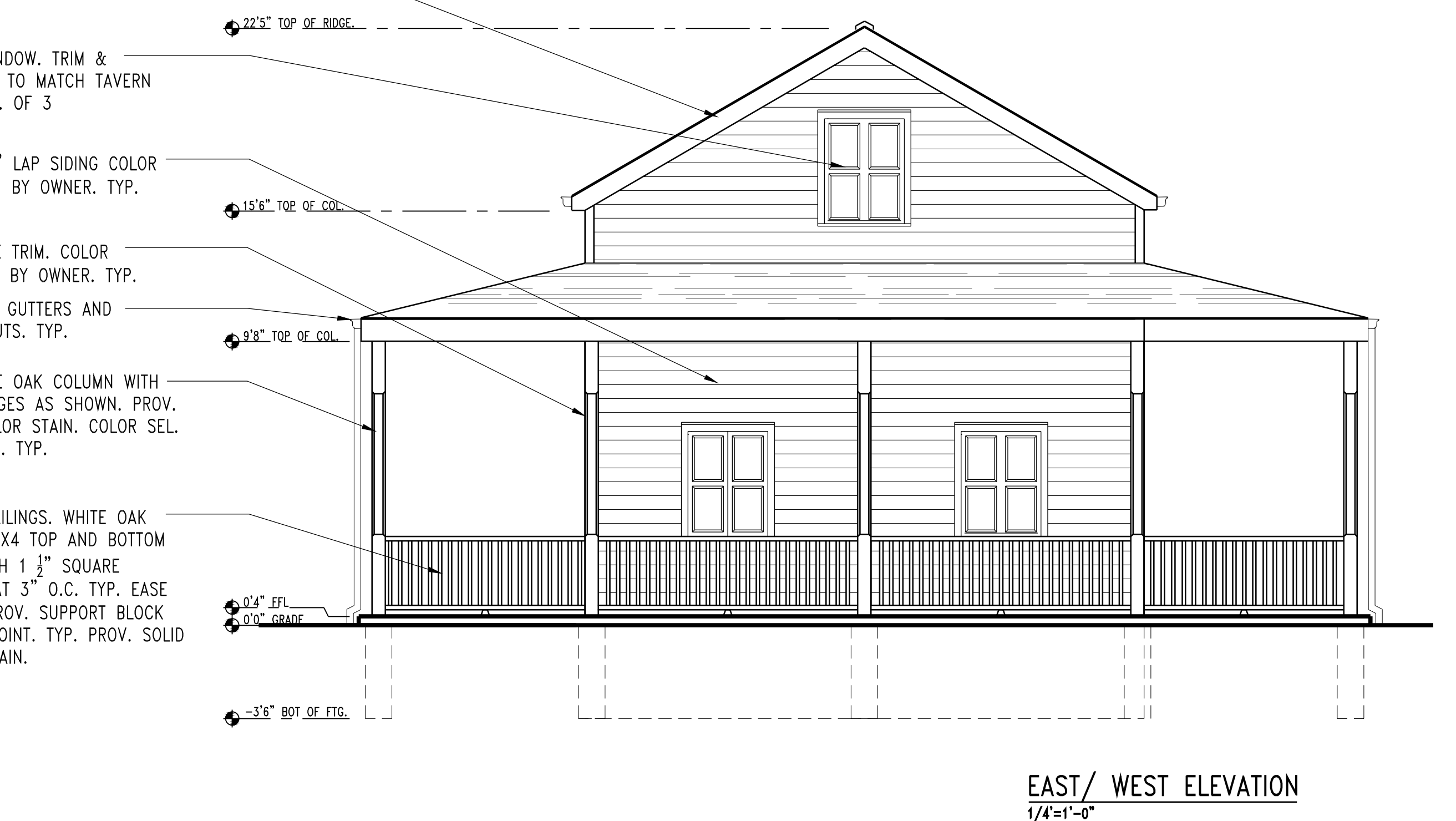
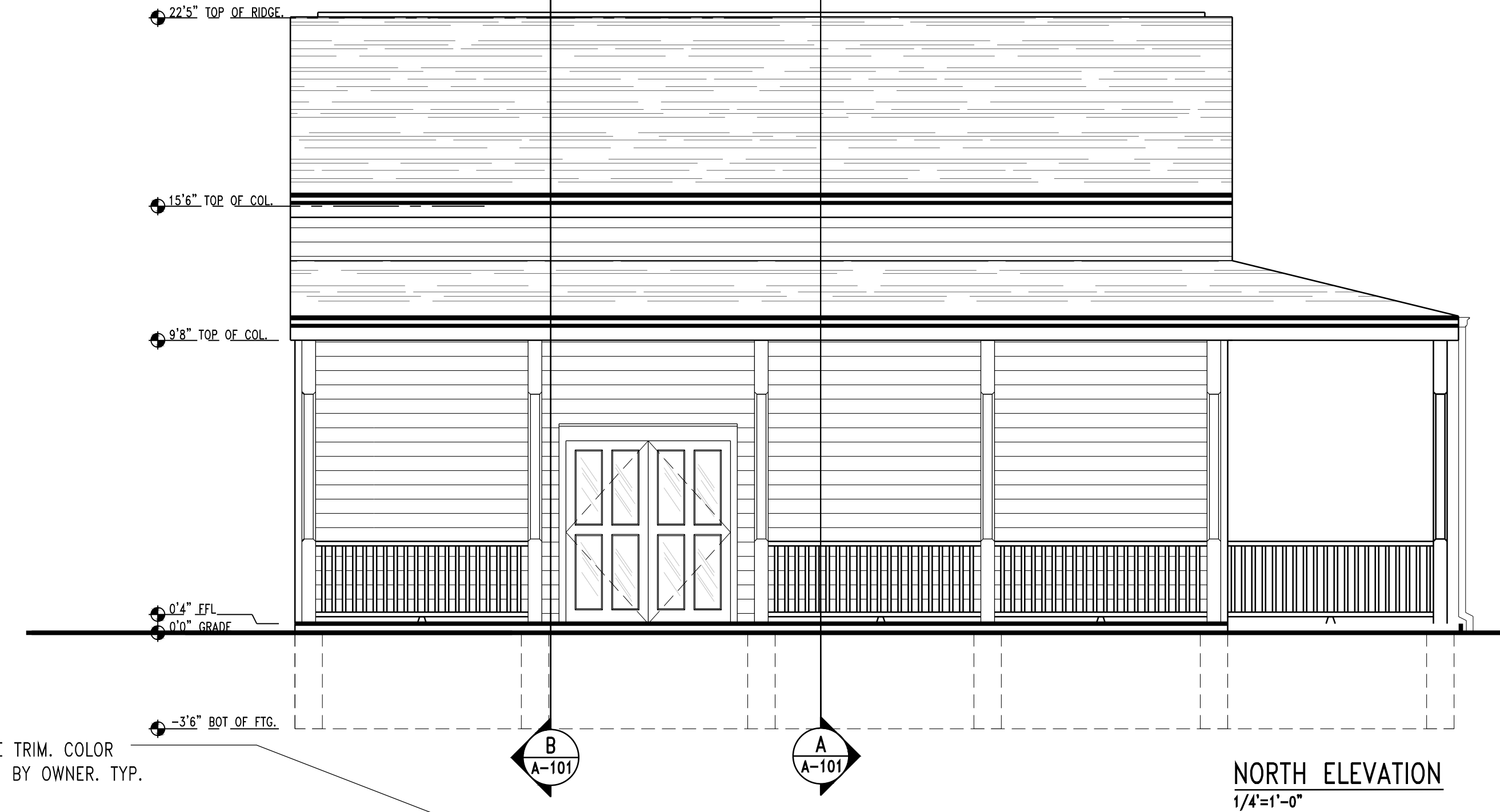
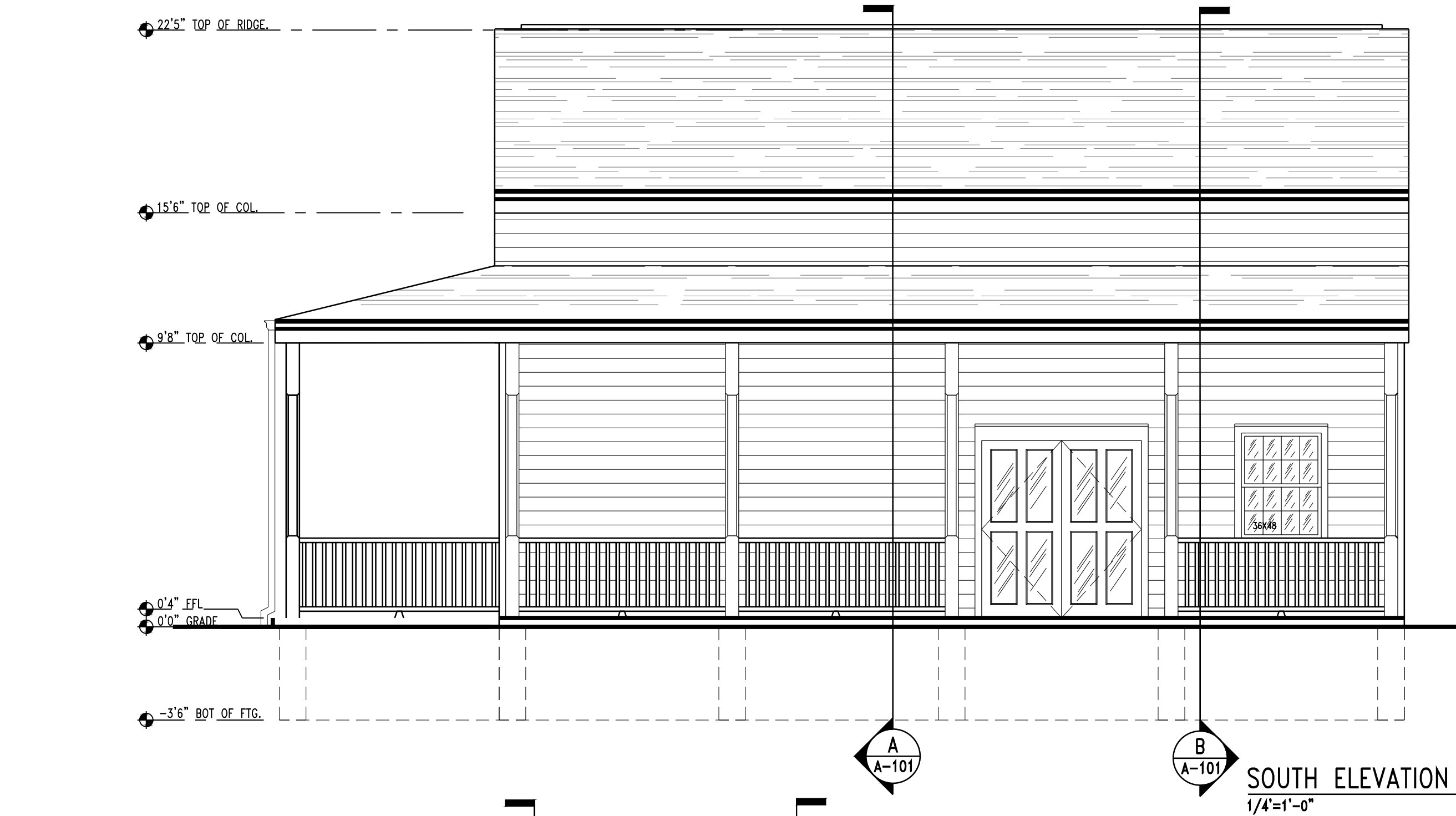
SECTION
1/4"=1'-0"



SECTION
1/4"=1'-0"



A.D.A. COMPLIANT TOILET ROOM FIXTURES AND ACCESSORIES
1/4" = 1'-0"



FISCHER & ASSOCIATES



ARCHITECTS INC.

554 West Ninth Street

Lorain, Ohio 44052

Tel: (440) 315-2300

E mail: andrea@fischerarch.com

Fischer & Associates	© 2025
ISSUE:	DATE:
PRELIM	03/31/25
BID AND PERMIT	04/14/25
OWNER REV.	04/28/25
REVISION 1 - ELEVATION HTS.	05/15/25

Client Name/Project Name/Address

DUNHAM TAVERN

(Visitor Center)

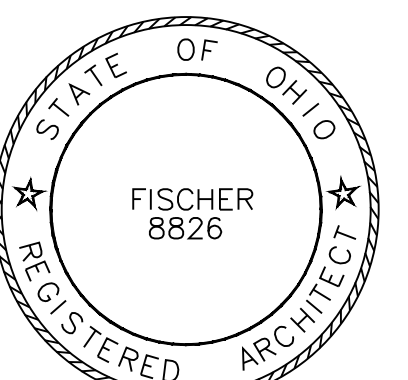
East 66th & Chester
Cleveland, Ohio 44103

Drawing Name
DRAWING TITLE

Fischer Project Number
25.017
SHEET #

A-101

Seal



GARY FISCHER LICENSE #8826
EXPIRATION DATE 12/31/2026

PLANTING

SHADE TREES



Acer rubrum 'Somerset' -
Somerset Red Maple



Magnolia x 'Betty' -
Betty Magnolia

EVERGREEN TREE



Thuja occidentalis 'Degroot's Spire' -
Degroot's Spire Arborvitae

SHRUBS



Buxus x 'Green Velvet' -
Green Velvet Boxwood



Hydrangea a. 'Invincibelle Mini Mauvette' -
Invincibelle Mini Mauvette Hydrangea

SITE FURNISHINGS



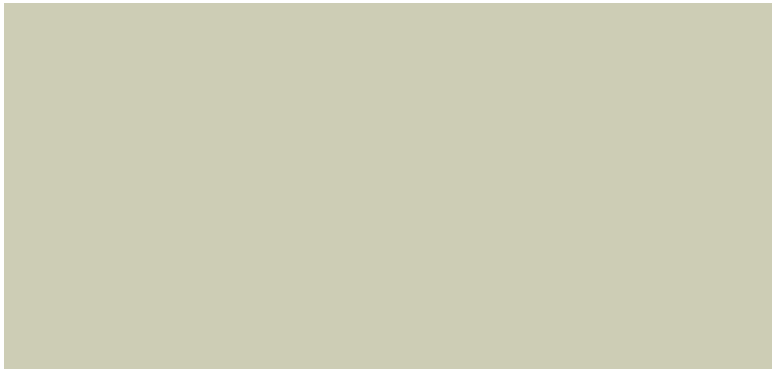
4' Bench



Door



Pavers



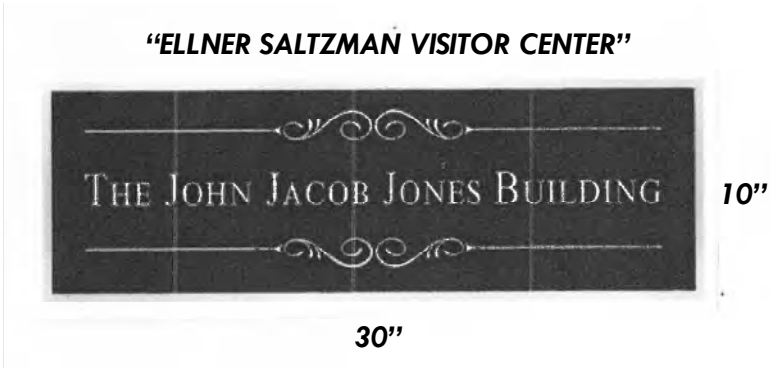
Hardie Siding Color - SW 0029 Acanthus



ADA Picnic Table



Shutters



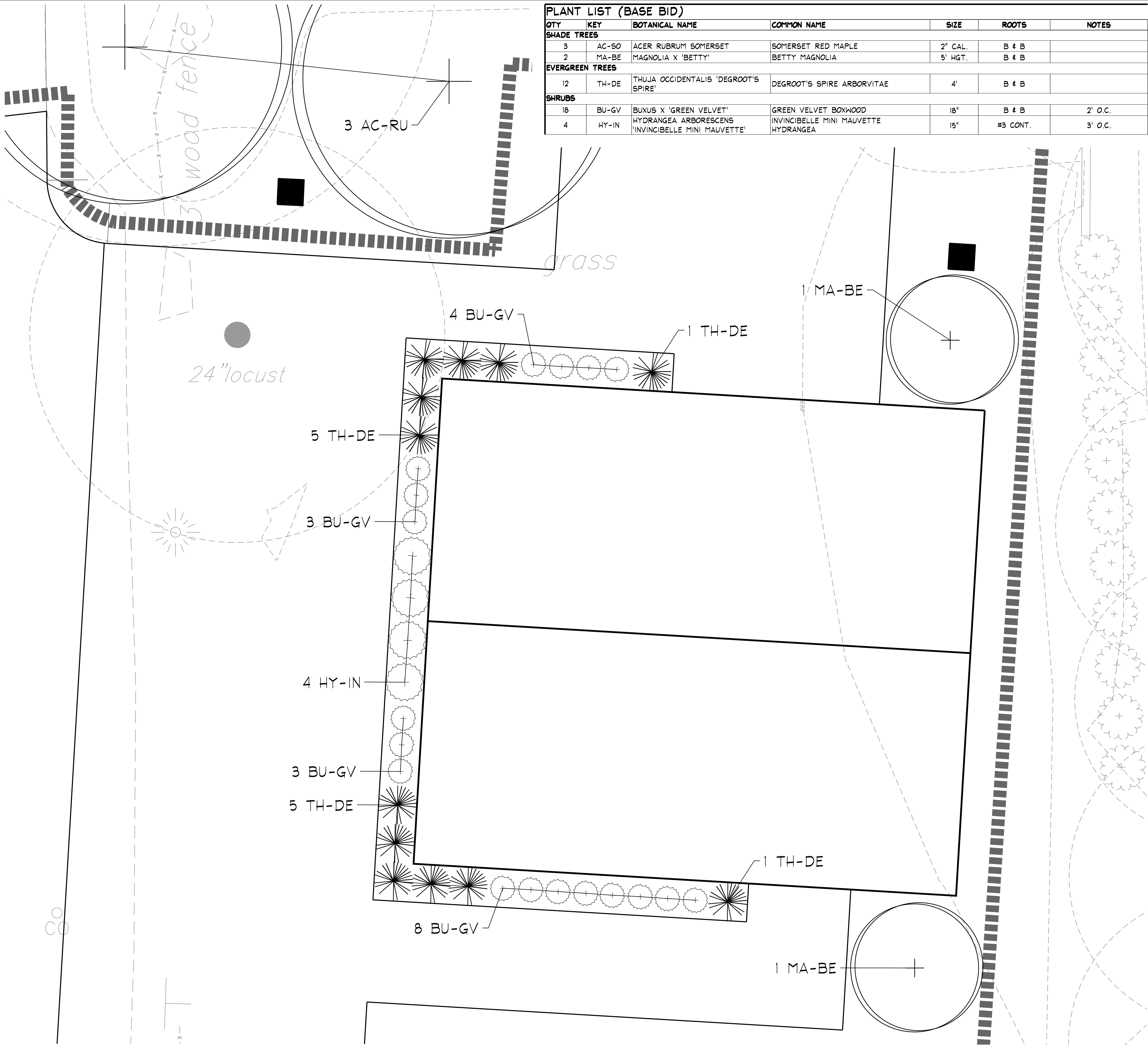
30"
Signage



Shingles

These designs and all items depicted herein, whether in writing or graphically, are instruments of professional service, may not be altered or changed, in any way, without the prior knowledge and written consent of the Landscape Architect. Any change made without the Landscape Architect's written approval will void all such documents and instruments and the Landscape Architect will not be personally liable for any damage, harm or loss caused thereby.

b



PLANT LIST (BASE BID)						
QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOTS	NOTES
SHADE TREES						
3	AC-SO	ACER RUBRUM SOMERSET	SOMERSET RED MAPLE	2" CAL.	B & B	
2	MA-BE	MAGNOLIA X 'BETTY'	BETTY MAGNOLIA	5' HGT.	B & B	
EVERGREEN TREES						
12	TH-DE	THUJA OCCIDENTALIS 'DEGROOT'S SPIRE'	DEGROOT'S SPIRE ARBORVITAE	4'	B & B	
SHRUBS						
18	BU-GV	BUXUS X 'GREEN VELVET'	GREEN VELVET BOXWOOD	18"	B & B	2' O.C.
4	HY-IN	HYDRANGEA ARBORESCENS 'INVINCIBELLE MINI MAUVETTE'	INVINCIBELLE MINI MAUVETTE HYDRANGEA	15"	#3 CONT.	3' O.C.

LEGEND:

- ■ ■ ■ ■ LIMITS OF WORK
- + DECIDUOUS TREE PLANTING - SEE DTL. 1/L-501
- ✱ EVERGREEN TREE PLANTING - SEE DTL. 2/ L-501
- ⊙ SHRUB PLANTING - SEE DTL. 4/L-501

GENERAL NOTES:

- THIS SHEET IS FOR SITE LAYOUT & DETAIL REFERENCE ONLY.
- ALL DIMENSIONS/COORDINATES ARE TO FACE OF CURBS AND WALLS, UNLESS NOTED OTHERWISE ON DRAWING.
- PROVIDE CONTROL JOINTS ON CURBS EVERY 10', MAX., AND AT P.C.'S AND P.T.'S.
- SITE UTILITIES AND PROPERTY LINE ARE SHOWN FOR REFERENCE ONLY.
- THIS DRAWING WILL BE AVAILABLE TO CONTRACTOR IN CAD FORMAT, FOR LAYOUT PURPOSES.
- PROVIDE 4" OF TOPSOIL AND SEED ALL DISTURBED AREAS. UNLESS SEED HAS FULLY GERMINATED PRIOR TO BUILDING THE PAVER FIELDS, MULCHING SEED WITH STRAW BLANKETS.

Dunham Tavern Museum & Gardens

Visitor Center
Green Infrastructure Improvements

6709 Euclid Avenue
Cleveland, Ohio 44103

Issued / Revised		
NO.	DATE	DESCRIPTION
	5/08/25	FOR PERMIT

Drawn by: _____ Checked by: _____



1-800-362-2764

CALL TWO WORKING DAYS BEFORE YOU DIG
(NON MEMBERS MUST BE CALLED DIRECTLY)

Planting Plan

L-400



CITY OF CLEVELAND
Mayor Justin M. Bibb

Schematic Plan Review

June 12th, 2025



Case 25-038

Schematic Plan Review

**Franklin-West Clinton
Historic District**

6107 Ellen Avenue

New Construction

**Project Representatives: James Todt, Owner
Ward 15: Councilmember Spencer**



6107 ELLEN AVE
CLEVELAND, OHIO

ELLEN AVENUE SMALL PROTOTYPE HOUSING

Issued for REVIEW

PPN: 002-30-064

PREPARED FOR:
OWNER:

STACIE WATKINS & JIM TODT
7435 MIDLAND RD.
INDEPENDENCE, OH 44131
JTODT0193@GMAIL.COM
216.469.0504

PREPARED BY:
ARCHITECT:

CLEVELAND DRAW
3342 AVALON ROAD
SHAKER HEIGHTS, OHIO 44120
T: 216.548.5335

GREYDON PETZNICK, RA
GREYDON@CLEVELANDDRAW.COM
MATT PLECNIK, RA
MATT@CLEVELANDDRAW.COM

STRUCTURAL ENGINEER:

MAKARICH STRUCTURAL ENGINEERING, LLC
P.O. BOX 1389
WILLOUGHBY, OHIO 44096
T: 440.283.7252



SYMBOL LEGEND:

EARTH

POROUS FILL

CONCRETE

CONCRETE / MASONRY

BRICK / MASONRY

GYPSUM WALLBOARD

RIGID INSULATION

BATT INSULATION

WOOD: SOLID SECTION

WOOD: BLOCKING

WOOD: BLOCKING (CUT)

WOOD: PLYWOOD

EXISTING DOOR SYMBOL

PROPOSED NEW DOOR SYMBOL

NAME OR AREA
ROOM#

###

X

FINISH
TYP.

X

KEY NOTE
DESIGNATION

X

PROPOSED NEW
COLUMN LINE

X

EXISTING
COLUMN LINE

X

INTERIOR ELEVATION TAG

1
4A#-##
3

ELEVATION DESIGNATION

EXTERIOR ELEVATION TAG

X
A#-##

SHEET DESIGNATION

SECTION TAG

X
A#-##

SHEET DESIGNATION

INTERIOR ELEVATION TAG

X
XX-XX

ELEVATION DESIGNATION

EXTERIOR ELEVATION TAG

FLOOR LEVEL
ELEV = +0'-0"

ELEV. HEIGHT DESIGNATION

REVISION CLOUD & DESIGN.

REVISION CLOUD & REV. DESIGNATION

PROJECT SCOPE & DATA:

BUILDING INFO:	
ADDRESS	6107 ELLEN AVENUE CLEVELAND, OHIO
PPN:	002-30-064
LOT AREA:	45' X 70' (3,150 SF)
LAND USE:	--
PROPOSED BUILDING USE:	R, SINGLE FAMILY RESIDENTIAL
CONSTRUCTION TYPE:	VB (NON SPRINKLERED)
ZONING:	2F-B1 RESIDENTIAL TWO FAMILY
AREAS:	
FIRST FLOOR	868 SF
SECOND FLOOR	807 SF
TOTAL	1675 SF
COVERED PORCHES	183 SF

THIS PROJECT WILL ADHERE TO THE REQUIREMENTS OF
THE OHIO RESIDENTIAL CODE, 2019 EDITION.

BUILDING SETBACKS:	
FRONT YARD SETBACK:	12'-6"
REAR YARD SETBACK:	23'-0"

SIDEYARD SETBACK AND
FIRE SEPARATION DISTANCE(NORTH): 3'-1"
PER TABLE R302.1, FIRE RESISTANCE RATED REQUIRED. ONE HOUR
CONSTRUCTION AT THE UNDERSIDE OR FIREBLOCKING REQUIRED. DISTANCE IS
EQUAL TO OR GREATER THAN 2' AND LESS THAN 5'.
REFERENCE A1-01

SIDEYARD PROJECTION SETBACK AND
FIRE SEPARATION DISTANCE (NORTH): 2'-5"
PER TABLE R302.1, FIRE RESISTANCE RATED REQUIRED. ONE HOUR
CONSTRUCTION AT THE UNDERSIDE OR FIREBLOCKING REQUIRED. DISTANCE IS
EQUAL TO OR GREATER THAN 2' AND LESS THAN 5'.

SIDEYARD OPENINGS IN WALLS (NORTH)	11.0% OF WALL AREA
MEETS REQUIREMENTS OF MAXIMUM 25% NO RESTRICTION ON PENETRATIONS	

SIDEYARD SETBACK (SOUTH):	14'-11"
SIDEYARD FIRE SEPARATION DISTANCE (SOUTH):	14'-11"

SIDEYARD PROJECTION SETBACK (SOUTH):	14'-3"
--------------------------------------	--------

HEIGHT:	25'-5.5" ~ 35'
AREA:	1,675 GSF > (50% * 3150 SF)

- HOUSE-LOT AREA VARIANCE REQUIRED (1675 SF HOUSE MORE THAN 50% LOT AREA)
- REAR YARD VARIANCE REQUIRED 23'-0" SETBACK < BUILDING HEIGHT OF 25'-5"

PARKING:
ONE OFF STREET PARKING SPACE AT REAR (MORE THAN 10' FROM WINDOW OR DOOR) WITH ACCESSIBLE PATH TO ADA THRESHOLD ENTRY

SHEET INDEX:

TITLE SHEET / GENERAL:

T0-00	TITLE SHEET, GENERAL NOTES, SHEET INDEX, PROJECT DATA
T0-01	MATERIALS

CIVIL - SURVEY
CONTEXT

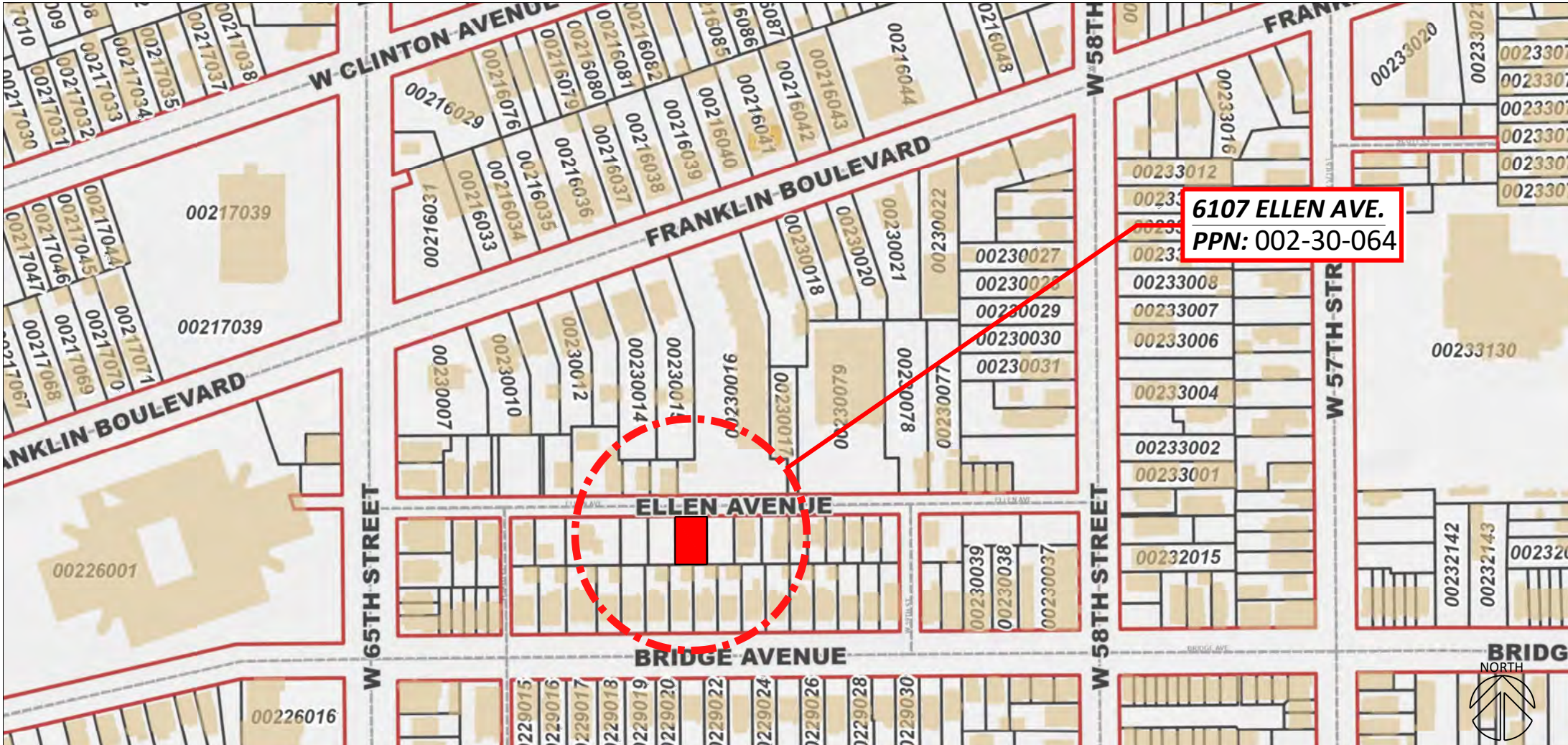
CONSTRUCTION DRAWINGS:

SP-01	SITE PLAN
A1-00	CONSTRUCTION SLAB AND ROOF PLANS
A1-01	CONSTRUCTION FLOOR PLANS
A2-01	EXTERIOR ELEVATIONS
A3-01	BUILDING SECTIONS - TBD
A3-10	WALL SECTIONS - TBD
A4-00	EXTERIOR DETAILS AND WINDOW SCHEDULE
A9-01	DOOR SCHEDULE AND CABINERY - TBD
G1-01	GARAGE PLANS
ME-01	MECHANICAL - ELECTRICAL PLANS TBD
S1-00	STRUCTURAL NOTES AND DETAILS TBD
S1-01	STRUCTURAL PLANS TBD

GENERAL NOTES:

- GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL EXISTING CONDITIONS PRIOR TO SUBMITTING BIDS. ANY DISCREPANCIES SHOULD BE REPORTED DURING THE BIDDING PROCESS AND BEFORE START OF CONSTRUCTION. EXTRAS WILL NOT BE ALLOWED FOR UN-VERIFIED EXISTING JOB CONDITIONS. CONTRACTOR TO VERIFY ALL DIMENSIONS, NEW AND EXISTING, IN THE FIELD AND NOTIFY ARCHITECT OF ANY SUBSTANTIAL VARIANCES FROM THE CONSTRUCTION DOCUMENTS.
 - THE CONSTRUCTION DOCUMENTS AS DEFINED BY THE DRAWING INDEX ARE ALL NECESSARY TO DEFINE THE TOTAL PROJECT. PARTIAL PLANS SHOULD NOT BE ISSUED BY THE GENERAL CONTRACTOR FOR BIDDING OR CONSTRUCTION. THE GENERAL CONTRACTOR & SUB-CONTRACTOR'S ARE RESPONSIBLE FOR THE ENTIRE DRAWING SET.
- THE GENERAL CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL WORK SHALL BE PERFORMED IN A FIRST CLASS WORKMAN LIKE MANNER AND IN NO WAY SHALL DAMAGE OR WEAKEN THE INTEGRITY OF THE BUILDING. ALL DAMAGES SHALL BE IMMEDIATELY REPAIRED AT NO ADDITIONAL COST TO THE OWNER. IN ADDITION, THE G.C. IS RESPONSIBLE TO ENSURE THE FOLLOWING:
 - ALL WORK SHALL BE PERFORMED TO THE HIGHEST INDUSTRY STANDARDS FOR QUALITY WORKMANSHIP - ALL MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS - MATERIALS AND METHODS SHALL CONFORM TO APPROPRIATE NATIONAL TRADE PUBLICATIONS.
 - CODE COMPLIANCE: EACH CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE OHIO BUILDING CODE, CURRENT EDITION, AND WITH ALL OTHER CODES AND GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER HIS PORTION OF WORK. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR SAFETY PRECAUTION AND PROGRAMS IN CONNECTION WITH HIS PORTION OF THE WORK. ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE BUILDING CODES, LOCAL AND STATE RESTRICTIONS INCLUDING ADA ACCESSIBILITY STANDARDS.
 - PERMITS, FEES AND TAXES: THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, FEES, LICENSES AND DEPOSITS AND BE LIABLE FOR ALL STATE AND FEDERAL SALES TAXES, AND ALL OBLIGATIONS UNDER THE FEDERAL SECURITY ACT. UPON COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL OBTAIN CERTIFICATES OF COMPLIANCE, APPROVAL OR ACCEPTANCE FORM ALL AUTHORITIES HAVING JURISDICTION OVER THE WORK AND DELIVER THESE CERTIFICATES TO THE OWNER ALONG WITH OFFICIAL RECEIPTS FOR THE SAME.
 - ALL WORK SHALL BE GUARANTEED FOR ONE (1) YEAR AFTER SUBSTANTIAL COMPLETION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REMEDY OR REPLACE ANY FAULTY, IMPROPER OR INFERIOR MATERIAL OR WORKMANSHIP WHICH

SITE LOCATION:



- CONTRACTOR SHALL FORWARD TO THE OWNER ALL APPLICABLE WARRANTIES, GUARANTEES, MAINTENANCE MANUALS, ETC. INCLUDING A COPY OF THE CERTIFICATE OF OCCUPANCY PRIOR TO APPLICATION FOR FINAL PAYMENT.
- ALL PROPOSED NEW EQUIPMENT, FIXTURES, FINISHES, ETC. SHALL BE INSTALLED PER THE MANUFACTURER'S STANDARD WRITTEN INSTRUCTION TO ACHIEVE MFR'S STANDARD WARRANTY. PREPARE ALL SURFACES, EXISTING CONDITIONS, ETC. AS REQUIRED PRIOR TO INSTALLATION.
- SUBSTITUTIONS AND QUALIFICATIONS: ALL PRICING SHALL BE BASED ON THE CONSTRUCTION DOCUMENTS WITH SUBSTITUTION OR ALTERATION. THE GENERAL CONTRACTOR SHALL CALL OUT AND CLEARLY IDENTIFY PROPOSED SUBSTITUTIONS. PROPOSED SUBSTITUTIONS SHALL BE REVIEWED BY THE OWNER AND ARCHITECT AND HE/SHE SHALL HAVE FINAL AUTHORITY TO ACCEPT OR REJECT SUBSTITUTIONS AS "EQUAL" TO THE SPECIFIED ITEM OR ASSEMBLY. ANY QUALIFICATIONS TO THE BID PROPOSING ALTERNATIVE SYSTEMS, MATERIALS, METHODS, ETC.(WHICH IN THE GENERAL CONTRACTORS OPINION REDUCE THE TOTAL COST OF THE JOB) SHALL BE OUTLINED AND ATTACHED TO THE BID FOR REVIEW BY THE ARCHITECT AND OWNER.
- SCHEDULE: THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE CONSTRUCTION SCHEDULE. THE G.C. SHALL ORDER AND SCHEDULE DELIVERY OF MATERIAL IN AMPLE TIME TO AVOID DELAYS IN CONSTRUCTION. IF AN ITEM IS FOUND TO BE UNAVAILABLE OR TO HAVE A LONG LEAD TIME, CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY, AND MAY BE ASKED TO MAKE RECOMMENDATIONS FOR EQUAL MATERIALS THAT WOULD BE AVAILABLE IN THE SCHEDULED TIME FRAME NECESSARY TO COMPLETE THE PROJECT ON SCHEDULE & BUDGET.
- SHOP DRAWINGS & SUBMITTALS: GENERAL CONTRACTOR TO PREPARE AND PROVIDE SHOP DRAWINGS & PRODUCT SUBMITTALS FOR ALL MATERIALS, INTERIOR FINISHES AND MILLWORK FOR ARCHITECTS REVIEW (DIGITAL COPIES, PDF). THE ARCHITECT'S/ENGINEER'S REVIEW OF SHOP AND ERECTION DRAWINGS IS AN APPROVAL OF GENERAL LAYOUT ONLY AND DOES NOT RELIEVE THE CONTRACTOR FROM THE NECESSITY OF MAKING, WITHOUT COST TO THE OWNER, CHANGES OR CORRECTIONS DUE TO ERRORS IN FABRICATION OR ERRORS IN DIMENSIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL DIMENSIONS.

SEAL:

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DATE:

05-07-2025

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CLEVELAND
DRAW
DESIGN & RESTORATION
ARCHITECTURE WORKSHOP

6107 Ellen Avenue
Cleveland, Ohio

Todt - Watkins
Prototype Housing to Accommodate:
Single Family Small Lot
Residence

TITLE:
SITE PLAN
AND CONTEXT

ISSUE:

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SHEET:

T0-01



ELLEN AVE (4 LOTS) FACING EAST



ELLEN AVE (4 LOTS) FACING WEST



6007 ELLEN AVE



6408 ELLEN AVE -70' FRONTAGE



6300 ELLEN AVE -35' FRONTAGE



6101 ELLEN AVE -40' FRONTAGE



5907 ELLEN AVE -27' FRONTAGE

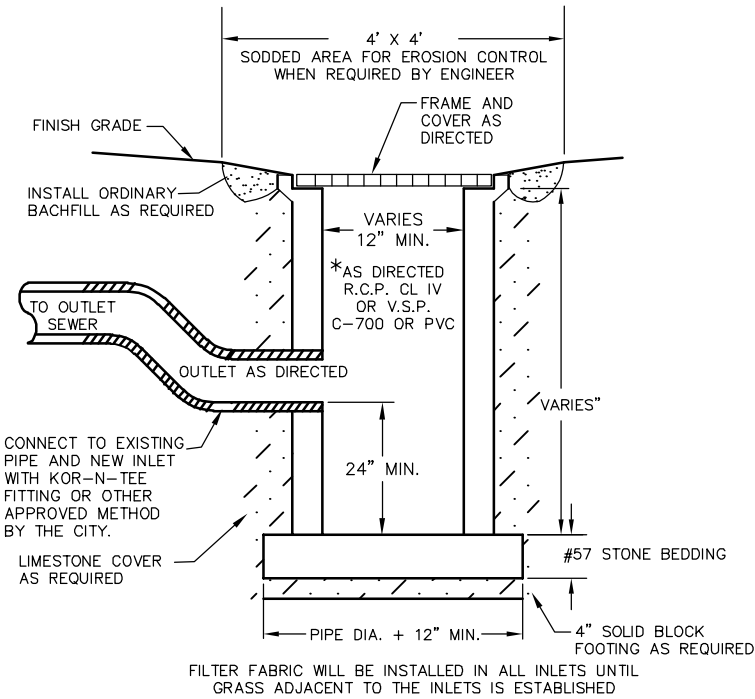


5822 ELLEN AVE -30' FRONTAGE



5816 ELLEN AVE -17'+ ROW FRONTAGE

- NOTES:
- UNDERGROUND INFORMATION SHOWN, REGARDING SANITARY, STORM, & WATER CONNECTIONS ONLY, ARE TAKEN FROM CITY RECORDS AND TYPE, SIZE & ELEVATIONS TO BE VERIFIED IN FIELD BY CONTRACTOR OR PRIOR TO CONSTRUCTION.
 - REMOVE AND REPLACE EXISTING 4" CONCRETE SIDEWALK AT SITE.
 - DRIVEWAY & APRON TO BE 6" THICK MINIMUM, PLACED ON 6" COMPACTED GRAVEL BASE.
 - CITY SIDEWALK & SERVICE WALK TO BE 4" THICK MINIMUM, PLACED ON 4" COMPACTED GRAVEL BASE.
 - 1/2" EXPANSION JOINT MATERIAL PROVIDED AT 30' INTERVALS AND AT CHANGES IN SLAB THICKNESS.
 - ALL CONCRETE MIXED WITH MINIMUM 650 LBS. PORTLAND CEMENT PER CUBIC YARD (MIN. 7-SACK).
 - CLEAR TREES AND BRUSH AS NECESSARY TO ESTABLISH SWALES.



YARD INLET – GENERAL AREA

GRADING PLAN

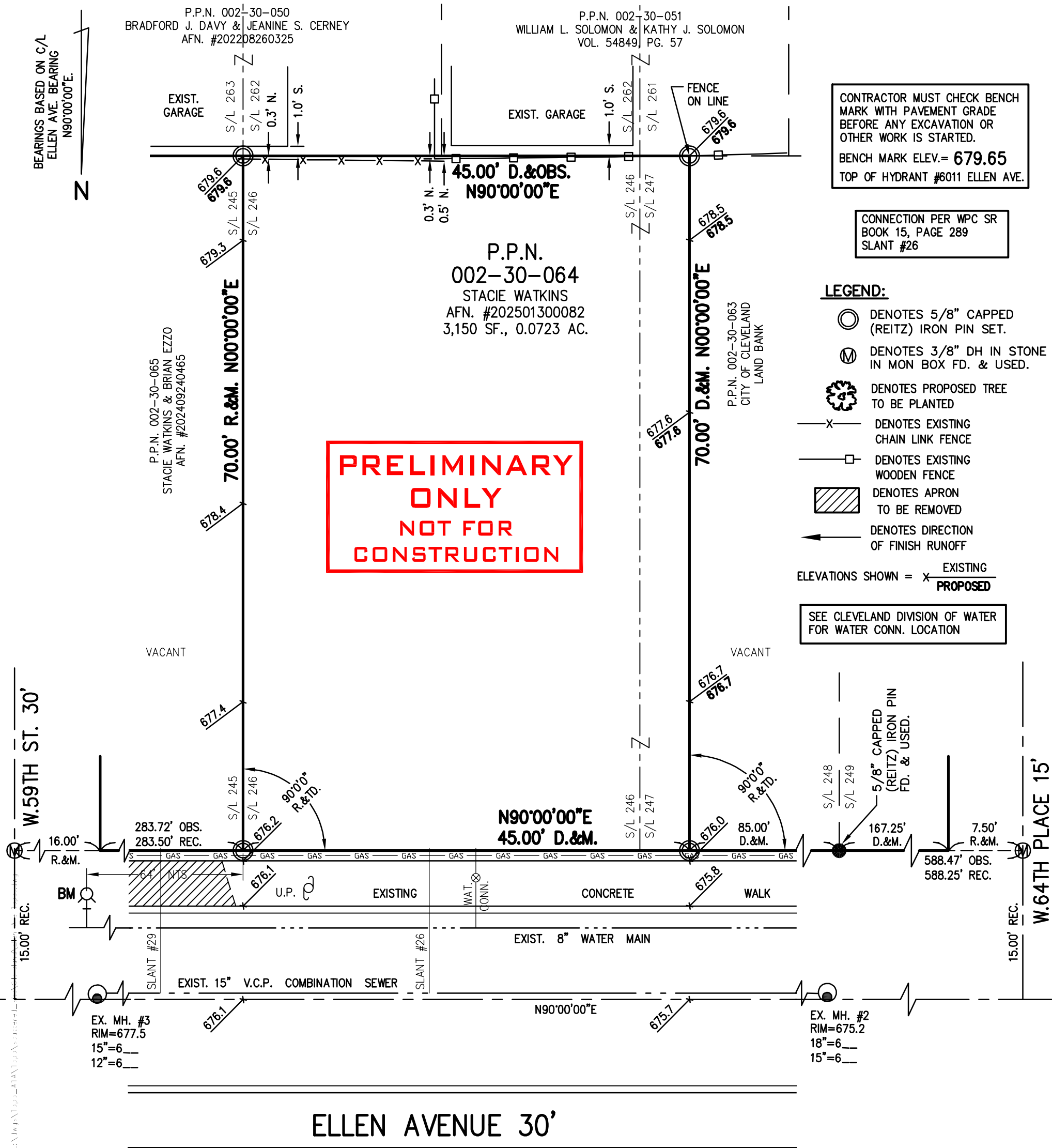
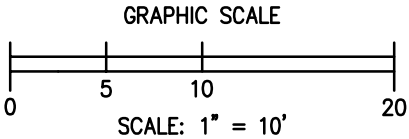
FOR
P.P.N. 002-30-064
#6107 ELLEN AVENUE
ALL OF SUBLT NO. 246 & THE
EASTERLY 5' OF SUBLT NO. 247
IN THE
GORDON AVENUE ALLOTMENT
RECORDED IN VOL. 21 PG. 2
NOW IN
THE CITY OF CLEVELAND
CUYAHOGA COUNTY, OHIO
FOR

INDEPENDENCE EXCAVATION, INC.
#5720 E. SCHAAF RD.
INDEPENDENCE, OH 44131
PH: (216) 469-0504

BY
THE HENRY G. REITZ ENGINEERING COMPANY
#4214 ROCKY RIVER DRIVE, CLEVELAND, OH. 44135
PH: (216) 251-3033, EMAIL: REITZ@REITZENG.COM

BY: PRES.

JAMES T. SAYLER, REG. SURVEYOR NO. S-7425
SCALE 1" = 10' MARCH, 2025



ELLEN AVENUE PROTOTYPE

- A TWO-STORY, SINGLE FAMILY INFILL HOUSING PROJECT
- Three to Four bedrooms
 - Two baths
 - To be constructed with features of Aging in Place and to Enterprise Green Community standards.
 - Light frame construction
 - Slab on grade foundation for no step entry at rear

LOT 002-30-064 (45X70)

ZONING
Use District Two Family
Zone Code 2F-B1

AREAS:
LOT: 3,150 SF

PROPOSED HOUSE:

SINGLE FAMILY
FIRST FLOOR: 868 SF
SECOND FLOOR: 807 SF
TOTAL: 1,675 SF

HEIGHT: 25'-5.5" < 35'
AREA: 1,675 GSF > (50% * 3150 SF)

HOUSE-LOT AREA VARIANCE REQUIRED (1675 SF HOUSE MORE THAN 50% LOT AREA)

TYPICAL SETBACKS:

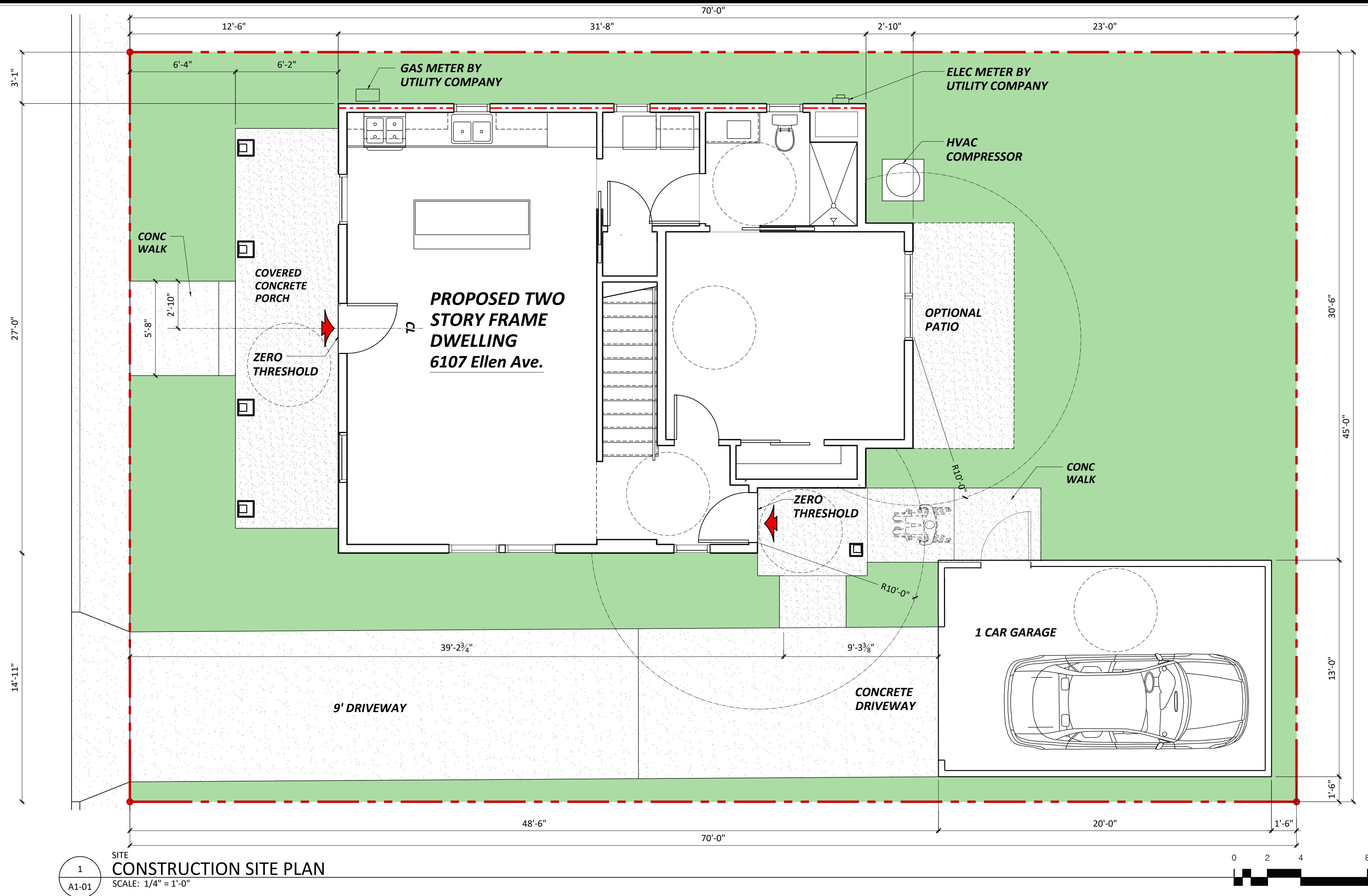
FRONT YARD: 12'-6"
REAR YARD: 23'-0"
DRIVEWAY SIDEYARD: 14'-11"
EAST SIDEYARD: 3'-1"
(REQUIRED 1 HR CONSTRUCTION)

REAR YARD VARIANCE REQUIRED 23'-0"
SETBACK < BUILDING HEIGHT OF 25'-5"

PARKING:

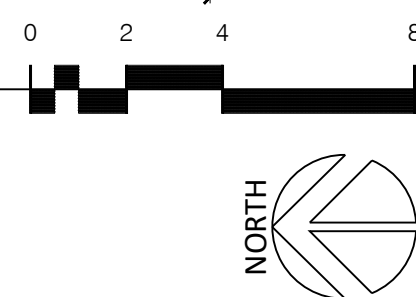
ONE OFF STREET PARKING SPACE AT REAR
(MORE THAN 10' FROM WINDOW OR DOOR)
WITH ACCESSIBLE PATH TO ADA THRESHOLD ENTRY

ELLEN AVENUE



1
A1-01

SITE
CONSTRUCTION SITE PLAN
SCALE: 1/4" = 1'-0"



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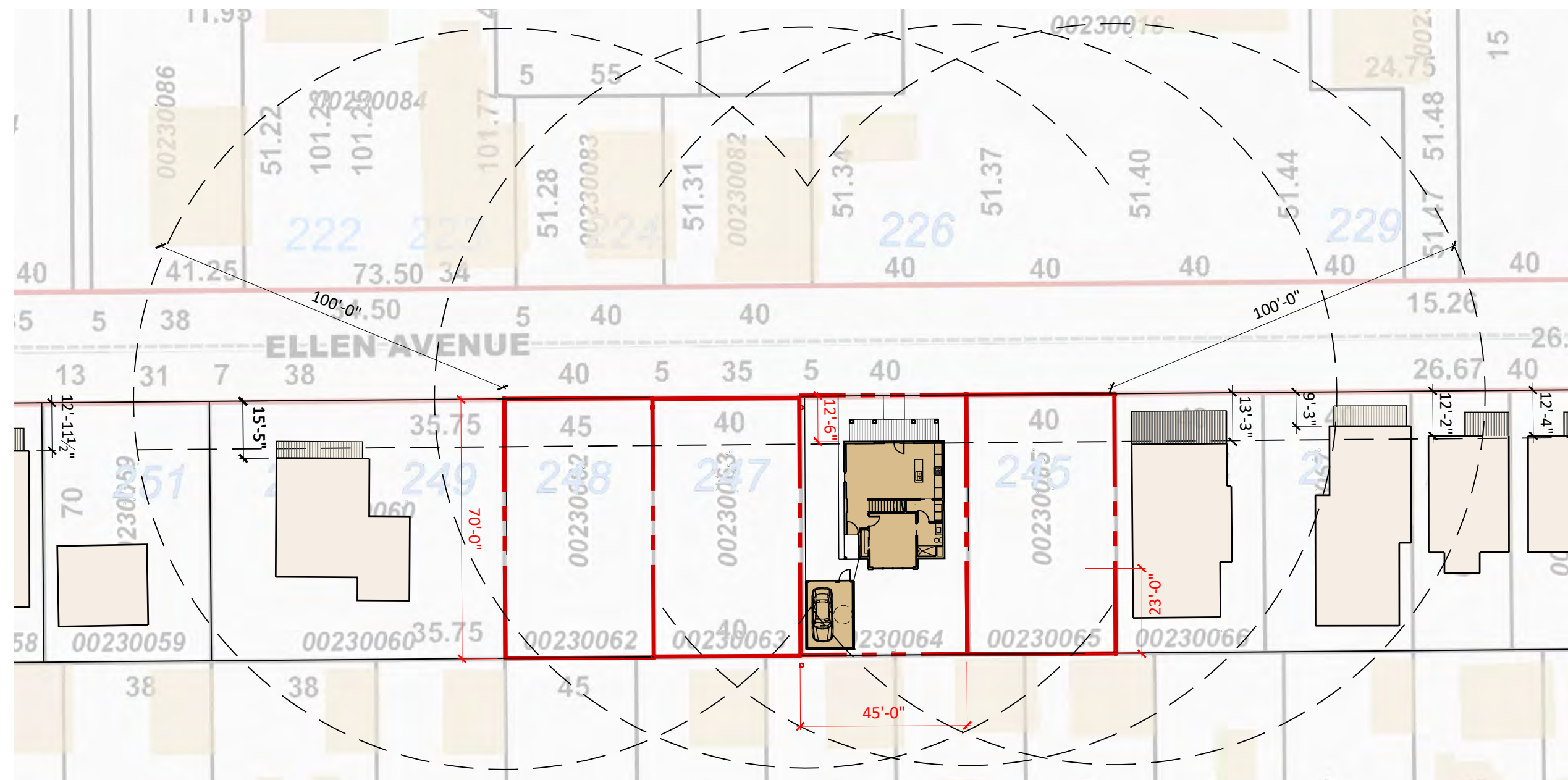
ISSUE: DATE:
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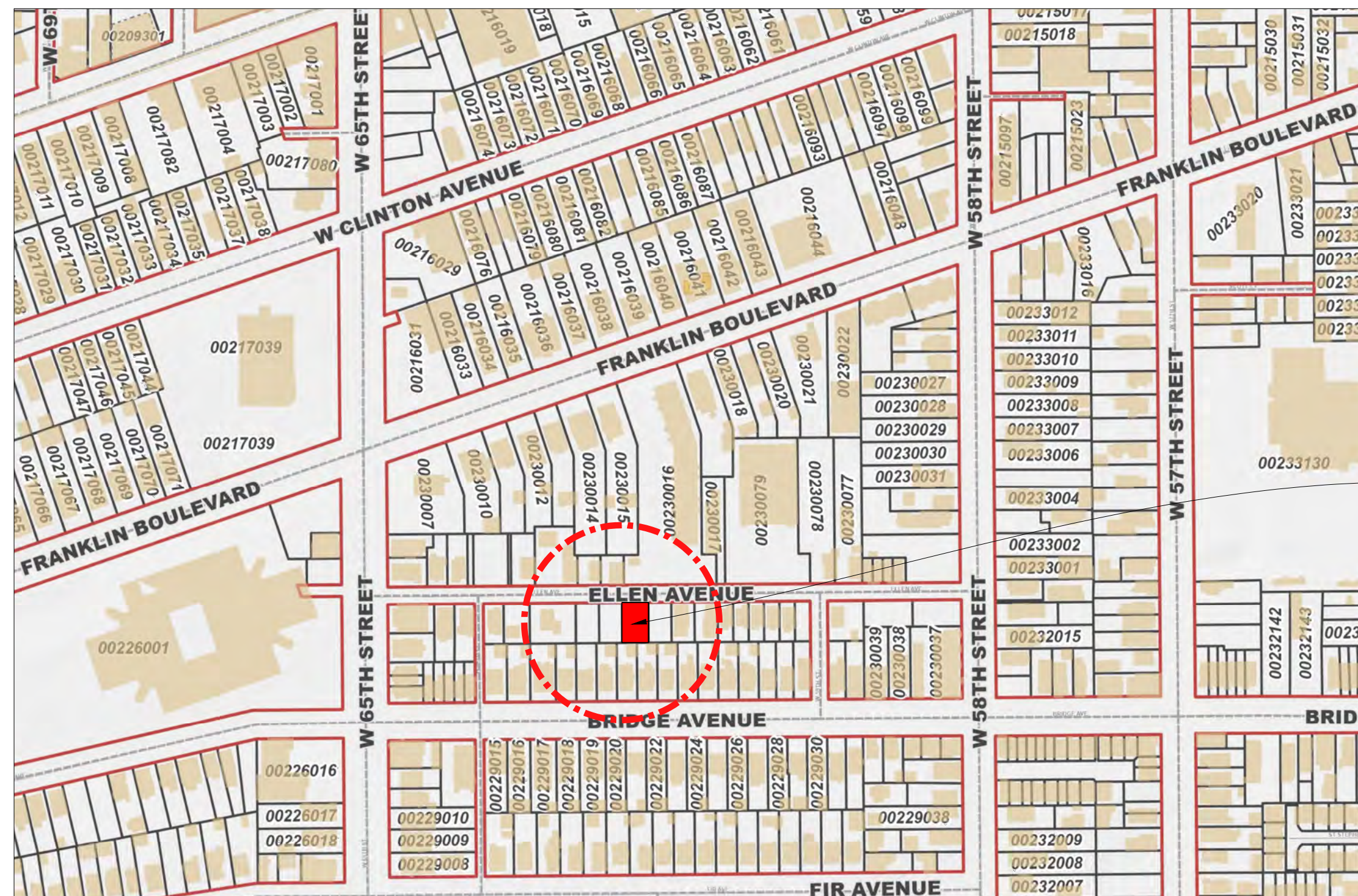
SP-01

LOCATION
6107 ELLEN AVENUE

FRONT SETBACK 12.5'



NEIGHBORHOOD MAP

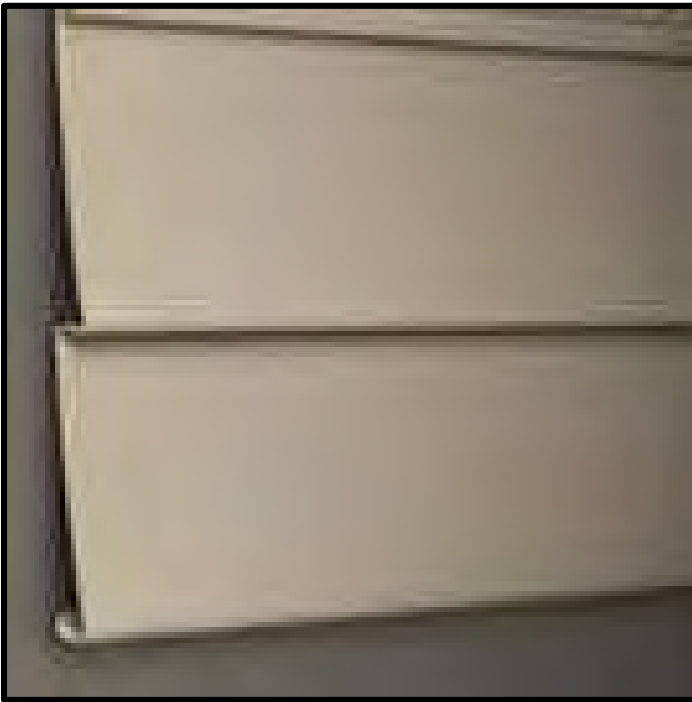




RENDERING - SD003



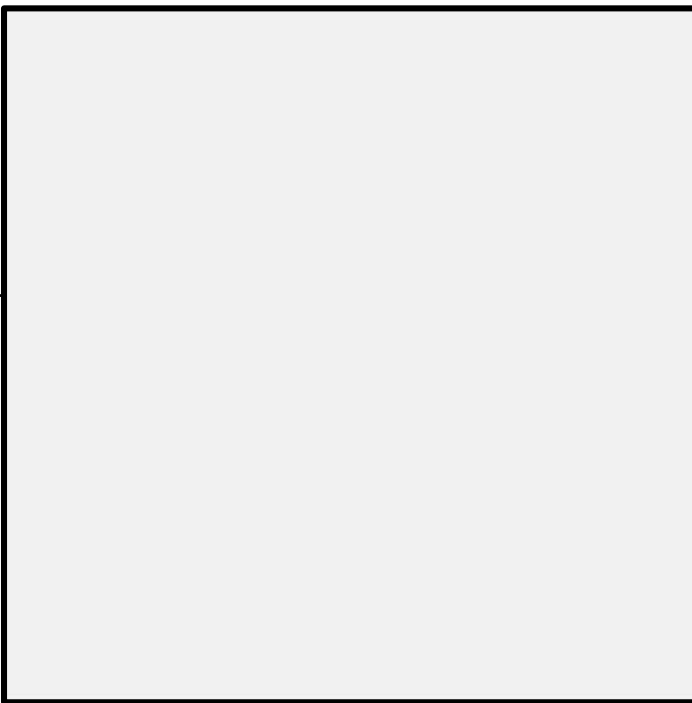
ROOFING: GAF TIMERLINE HDZ "CHARCOAL GRAY"



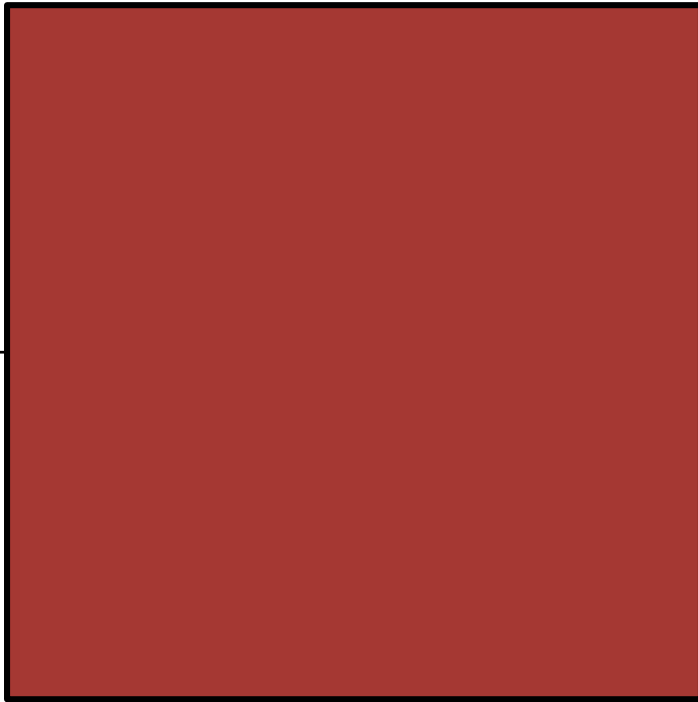
SIDING: ALSIDE ODYSSEY PLUS D5: 5" CLAPBOARD "HARBOR BLUE"



GUTTERS AND DOWNSPOUTS: PREFINISHED WHITE 5" K STYLE/ 2X3 DOWNSPOUTS



WINDOWS: VINYL DOUBLE HUNG PELLA 250 (PELLA WHITE)



DOOR: "TANAGER RED" SHERWIN WILLIAMS "SW-6601"



TRIM: AZEK COMPOSITE TRIM (PAINTABLE: PELLA WHITE)



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MATERIALS
6107 ELLEN AVENUE

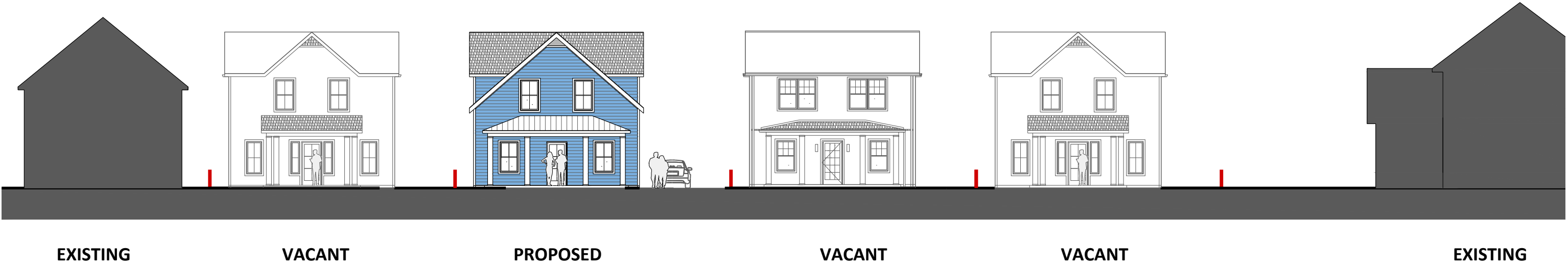
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SHEET:

T0-01



EXISTING

VACANT

PROPOSED

VACANT

VACANT

EXISTING

CONSTRUCTION GENERAL NOTES

DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS - DO NOT SCALE. ALL EXTERIOR DIMENSIONS ARE FROM OUTSIDE FACE OF CONCRETE OR EXTERIOR SHEATHING & ALL INTERIOR DIMENSIONS ARE FROM FACE OF GWB. FACE OF EXTERIOR SHEATHING ALIGNS TO FOUNDATION.

1. REGARDING TYPICAL INTERIOR WALL CONSTRUCTION:

- TYPICAL INTERIOR WALL AS NOTED
- TYPICAL INTERIOR WALL WITH SOUND BATT OR THERMAL INSULATION
- TYPICAL INTERIOR PARTIAL HEIGHT WALL

2. REFER TO DOOR SCHEDULE FOR ALL DOOR TAGS.

3. ALL DOORS TO BE LOCATED 3" FROM THE NEAREST WALL AT HINGE SIDE (TYPICAL UNLESS OTHERWISE NOTED).

4. ALL WINDOW ROUGH OPENINGS TO BE FIELD VERIFIED PRIOR TO PRICING & FABRICATION. ALSO REFER TO WINDOW SCHEDULE AND APPROVED SHOP DRAWINGS FOR ADDITIONAL INFO.

5. REFER TO SHEET A4-00 FOR EXTERIOR FINISH LEGEND & ADDITIONAL INFORMATION.

6. ALL RECEPTACLES AND TELEPHONE OUTLETS SHALL NOT BE MOUNTED BACK TO BACK. ALL OUTLETS SHOWN GROUPED TOGETHER SHALL NOT BE MORE THAN 5" APART AND SHALL BE SPACED EQUALLY. ALL SWITCHES SHALL BE LOCATED AT 48" ABOVE FINISHED FLOOR AND ALL ELECTRICAL RECEPTACLES SHALL BE 1'-6" AFF UNLESS NOTED OTHERWISE. ALL COVER PLATE MATERIAL/FINISH TO BE COORDINATED WITH ARCHITECT U.N.O. WHERE MULTIPLE WALL SWITCHES OCCUR, SWITCHES ARE TO BE GANGED AND COVERED WITH A SINGLE CONTINUOUS COVER PLATE. COVER PLATED SHALL NOT BE CUT AND BUTTED TOGETHER.

10. ALL INTERIOR WALLS ARE TYPE "A" UNLESS NOTED OTHERWISE TO BE CONSTRUCTED OF NOM. 2x4 WOOD STUDS @ 16" O.C. MAX. WITH 1/2" GYP. BOARD ON EACH SIDE. (4-1/2" WIDTH)

- 10.1. USE MOISTURE RESISTANT GYP. BOARD AT ALL POTENTIAL WET LOCATIONS.
- 10.2. USE CEMENT BACKER BOARD AT ALL LOCATIONS SCHEDULED TO RECEIVE TILE FINISH. TYPICAL UNLESS OTHERWISE NOTED.

10.3. TYPE "A2": CHASE WALL-NOM. 2x4 WOOD STUDS @ 16" O.C. MAX. WITH 1/2" GYP. BOARD ON EXPOSED SIDE. (4" WIDTH)

10.4. TYPE "A3": CONCRETE FURROUT-FLAT 2X4 STUD ON VAPOR BARRIER OVER CMU WITH 1/2" GYP. BOARD ON EXPOSED SIDE. (2" WIDTH)

10.5. TYPE "A4": PLUMBING CHASE WALL. SAME AS "A", BUT WITH 2X6 NOMINAL STUDS

10.6. TYPE "A5": FLAT STUD WALL

11. ALL EXTERIOR WALL CONSTRUCTION IS TYPE "B" UNLESS OTHERWISE NOTED AND TO BE 1/2" EXTERIOR RATED WOOD SHEATHING (INSTALLED HORIZONTALLY WITH ALL JOINTS STAGGERED) & WEATHER BARRIER OVER 2x6 NOM. WOOD STUD FRAMING @ 16" O.C. MAX. ALL WALL COMPONENTS TO BE AS FOLLOWS:

- 11.1. EXTERIOR CLADDING: REFER TO ELEVATIONS
- 11.2. WEATHER BARRIER: VAPOR PERMEABLE AIR BARRIER INSTALLED ON EXTERIOR FACE OF SHEATHING
- 11.3. CAVITY INSULATION: KRAFT FACED FIBER GLASS INSULATION (5-1/2" THICK, R-21 MIN.) FIT INTO STUD

11.4. VAPOR BARRIER: AS INTEGRAL FACING OF BATT INSULATION AS DESCRIBED ABOVE.

11.5. TYPE B1: SAME AS TYPE B ABOVE BUT WITH 2X4 NOM WOOD STUDS AND NO INSULATION.

12. ONE HOUR FIRE RATED EXTERIOR WALL CONSTRUCTION IS TYPE "C" AND KEYNOTED IF APPLICABLE AND TO BE 5/8" DENSGLASS FIREGUARD SHEATHING (INSTALLED HORIZONTALLY WITH ALL JOINTS STAGGERED) OVER 2x6 NOM. WOOD STUD FRAMING @ 16" O.C. MAX. PROVIDE 5/8" TYPE "X" FIRE-RATED GYPSUM BOARD ON INTERIOR FACE OF STUD PER UL ASSEMBLY #U305. REFERENCE APPLICABLE WALL SECTIONS. ALL WALL COMPONENTS TO BE AS FOLLOWS:

- 12.1. EXTERIOR CLADDING: REFER TO ELEVATIONS
- 12.2. WEATHER BARRIER: VAPOR PERMEABLE AIR BARRIER INSTALLED ON EXTERIOR FACE OF DENSGLASS SHEATHING
- 12.3. CAVITY INSULATION: KRAFT FACED FIBER GLASS INSULATION (5-1/2" THICK, R-21 MIN.) FIT INTO STUD

12.4. VAPOR BARRIER: AS INTEGRAL FACING OF BATT INSULATION AS DESCRIBED ABOVE.

12.5. TYPE C1: SAME AS TYPE C ABOVE BUT WITH 2X4 NOM WOOD STUDS AND NO INSULATION.

FINISH GENERAL NOTES

ALL OPEN CEILING AREAS ARE TO BE PAINTED PT-0, TYP.

ALL FINISHES ARE TO BE SELECTED BELOW BY OWNER WITH ARCHITECTURAL APPROVAL. IF FINISH IS TBD OR UNKNOWN AT PRICING, PROVIDE A UNIT ALLOWANCE FOR THE MATERIAL AT MEDIUM LEVEL GRADE. ANY PROPOSED SUBSTITUTIONS TO SPECIFIED MATERIALS ARE TO BE SUBMITTED WITH ARCH. PROVIDED SUBSTITUTION FORM AND WILL BE EVALUATED BY OWNER & ARCHITECT. ALL FINISHES ARE TO BE INSTALLED PER MFR'S WRITTEN INSTRUCTIONS AND ALL SUBSTRATES ARE TO BE CLEANED & PREPARED

AS REQUIRED.

ALL CLOSETS ARE TO BE FINISHED SIMILARLY TO THE ROOM THEY ARE LOCATED:
FINISH DESIGNATION TAG IS AS FOLLOWS:

COLUMN 1: ROOM COMPONENT
COLUMN 2: MATERIAL INFO
COLUMN 3: FINISH INFO

FLOOR:	WD	ST
BASE:	WD	ST
WALLS:	GYP BD	PT
CEILING:	GYP BD	PT

WD -PAINTED WOOD BASE/TRIM

- MFR.: -
- STYLE: FLAT STOCK, EASED EDGE PINE/MDF
- SIZE: 1/2 x 3 1/2
- COLOR/FINISH: - PAINTED
- NOTE: INSTALLED PER MFR'S RECOMMENDATIONS
- NO FINGER JOINTED TRIM

HWD-1 ENGINEERED HARDWOOD

- MFR.: -
- STYLE: STRIP
- SIZE: - N/A
- COLOR/FINISH: - ALLOWANCE WITH OPTIONS PER OWNER
- NOTE: PROVIDE VAPOR BARRIER. VERIFY UPGRADE FINISHING WITH OWNER

LVT-1 -LUXURY VINYL TILE

- MFR.: ARMSRONG OR OTHER APPROVED MANUFACTURER
- STYLE: FLOAT OR FULL ADHESIVE
- SIZE: - N/A
- COLOR/FINISH: - ALLOWANCE WITH FINISH OPTIONS PER OWNER
- NOTE: VERIFY UPGRADE FINISHING WITH OWNER

CT-1 -CERAMIC TILE

- MFR.: TBD
- STYLE: TBD
- SIZE: - N/A
- COLOR/FINISH: - FINISH OPTIONS PER OWNER
- NOTE: VERIFY UPGRADE FINISHING WITH OWNER

CPT-1 CARPET

- MFR.: -
- STYLE: LOOP
- SIZE: - N/A
- COLOR/FINISH: - ALLOWANCE WITH OPTIONS PER OWNER
- NOTE: PROVIDE PADDING. VERIFY UPGRADE FINISHING WITH OWNER

PT-0 -PAINT (CEILING WITHIN RESIDENTIAL UNITS)

- MFR.: SHERWIN WILLIAMS
- COLOR/FINISH: TO BE SELECTED BY OWNER
- NOTE: INSTALLED PER MFR'S RECOMMENDATIONS

PT-1 -PAINT (WALL FIELD WITHIN RESIDENTIAL UNITS)

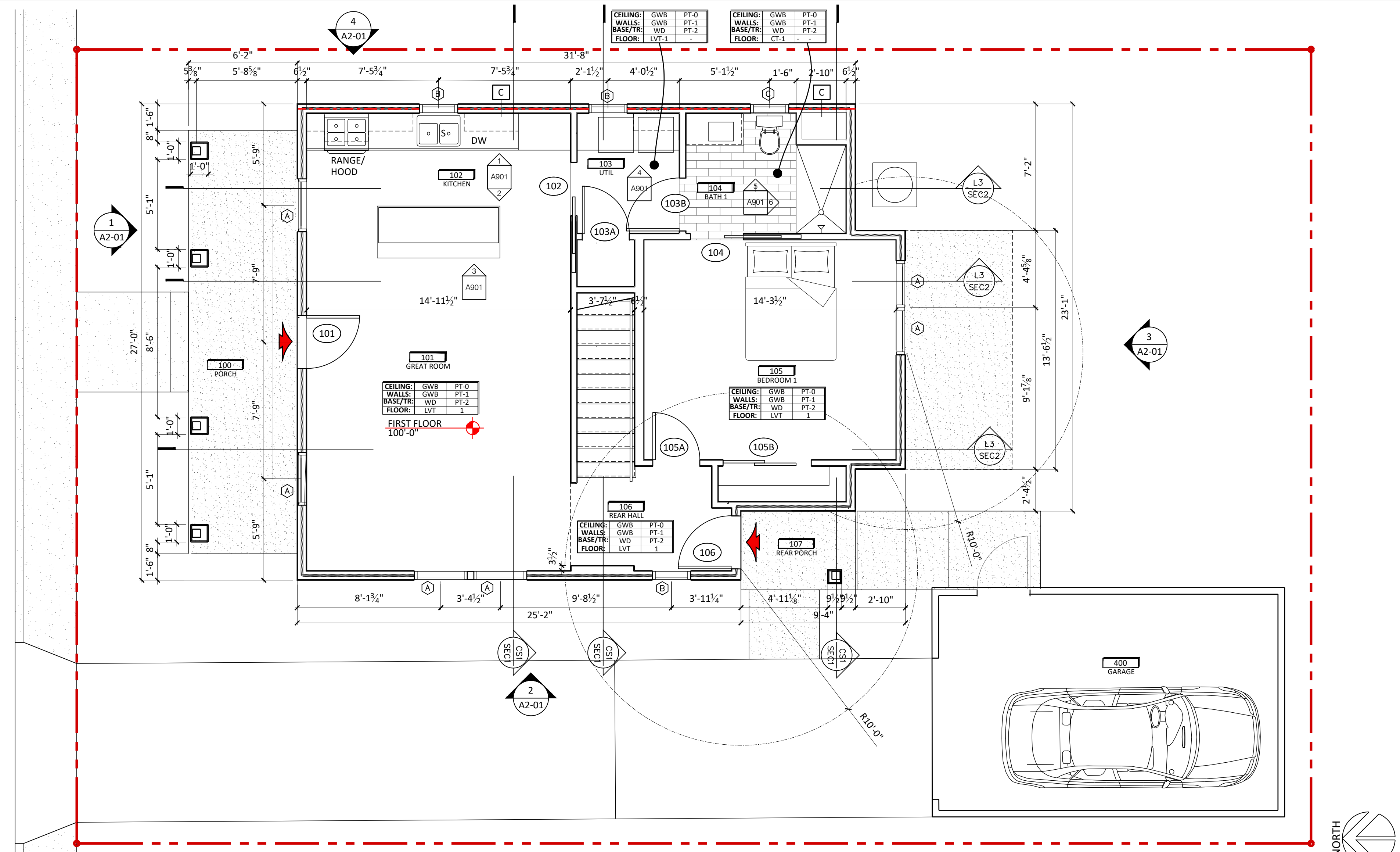
- MFR.: SHERWIN WILLIAMS
- COLOR/FINISH: TO BE SELECTED BY OWNER
- NOTE: INSTALLED PER MFR'S RECOMMENDATIONS

PT-2 -PAINT (TRIM WITHIN RESIDENTIAL UNITS)

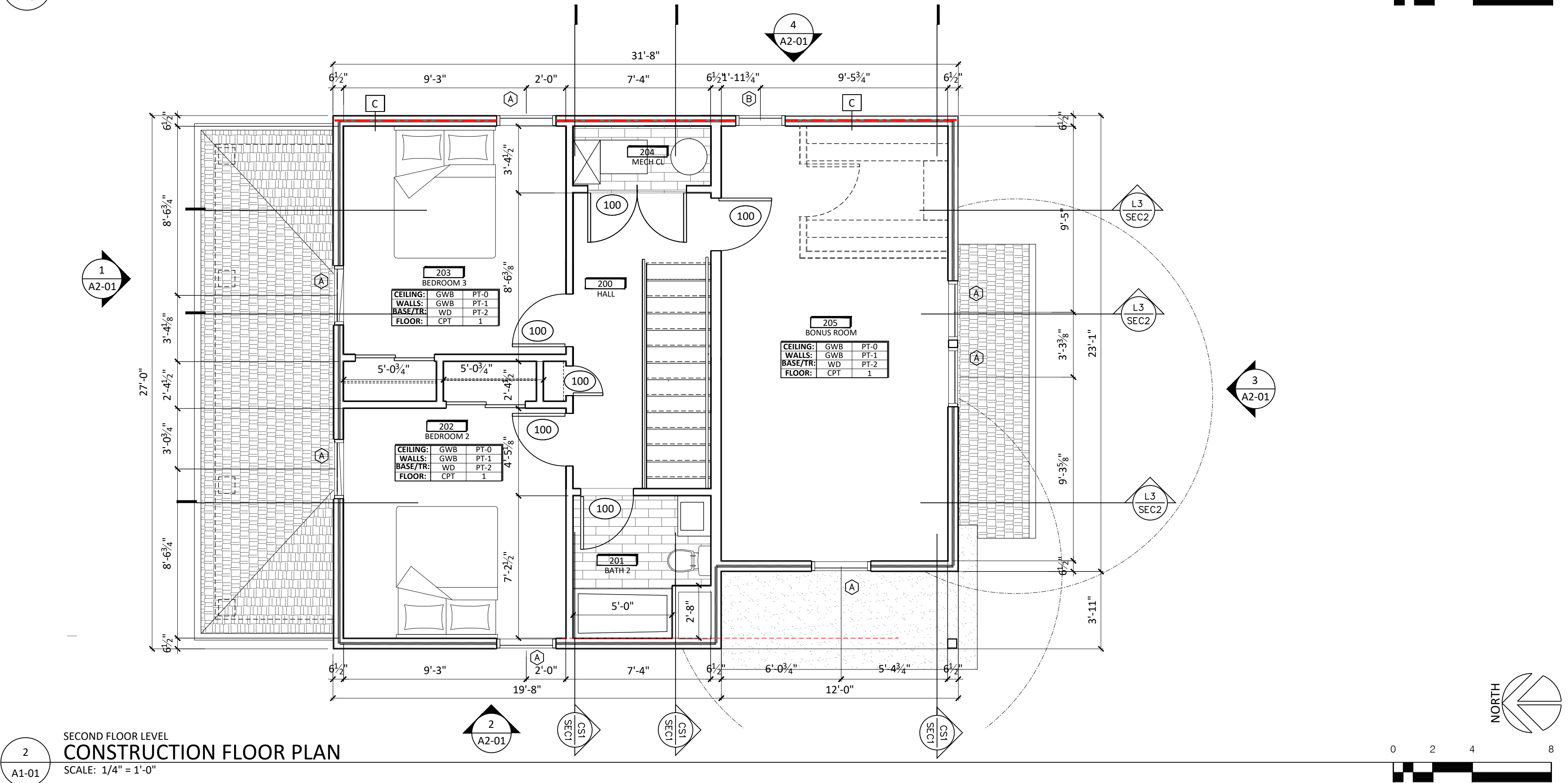
- MFR.: SHERWIN WILLIAMS
- COLOR/FINISH: TO BE SELECTED BY OWNER
- NOTE: INSTALLED PER MFR'S RECOMMENDATIONS

PT-X -PAINT (ADDITIONAL WALL AND ACCENT COLORS)

- MFR.: SHERWIN WILLIAMS
- COLOR/FINISH: TO BE SELECTED BY OWNER
- NOTE: INSTALLED PER MFR'S RECOMMENDATIONS



GROUND FLOOR LEVEL
CONSTRUCTION FLOOR PLAN
SCALE: 1/4" = 1'-0"



SECOND FLOOR LEVEL
CONSTRUCTION FLOOR PLAN
SCALE: 1/4" = 1'-0"

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FLOOR PLAN

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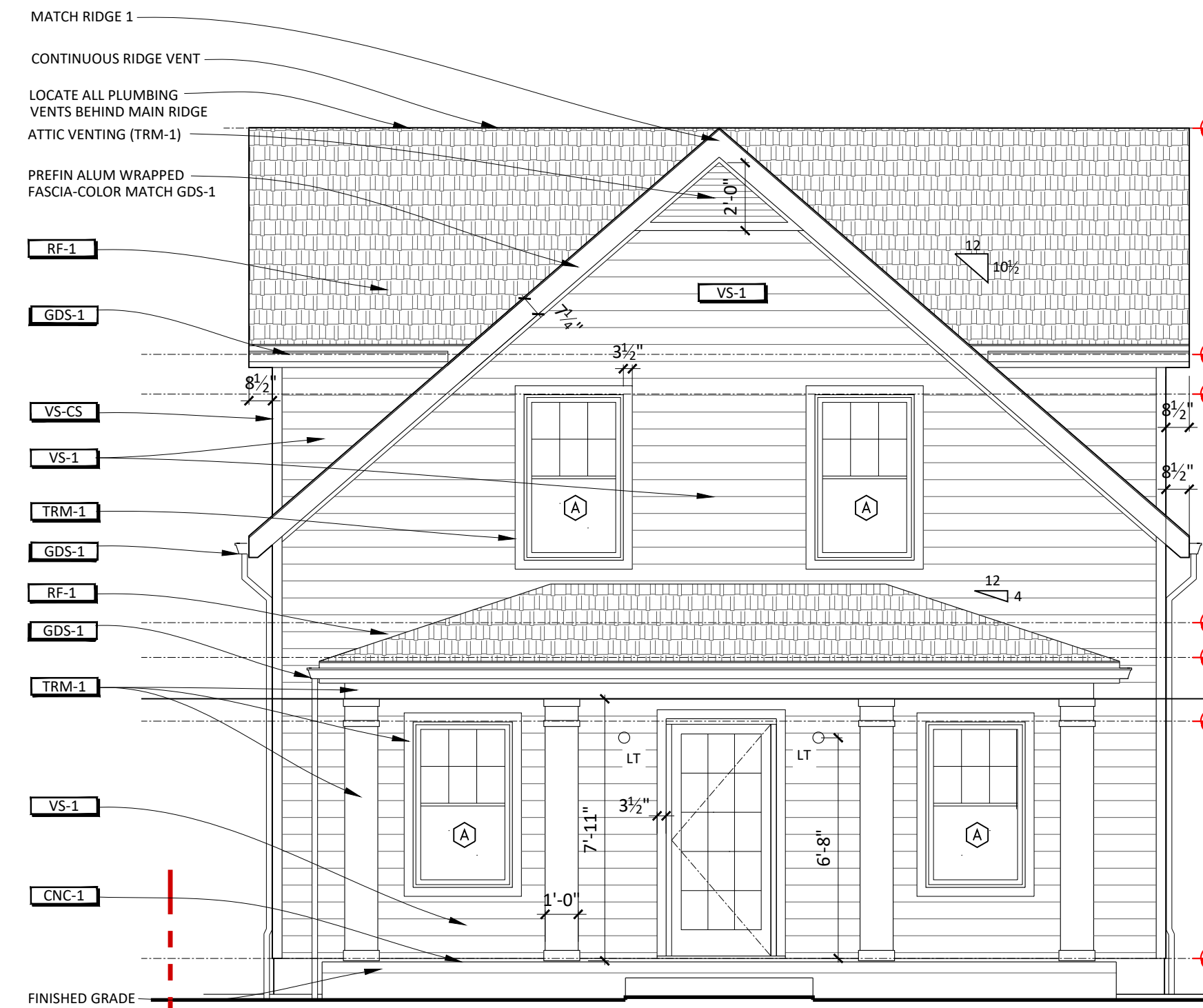
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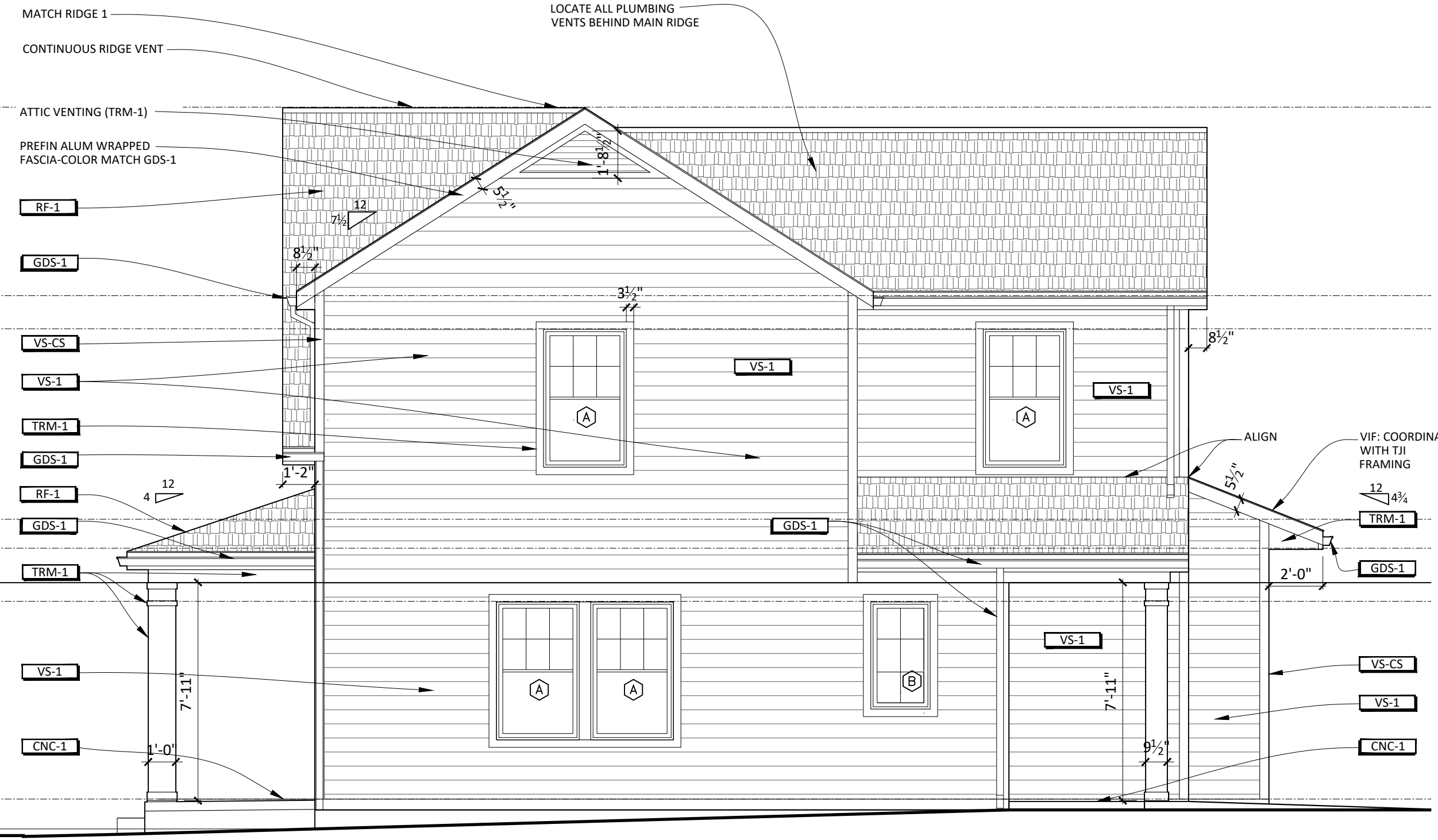
A1-01

EXTERIOR FINISH LEGEND

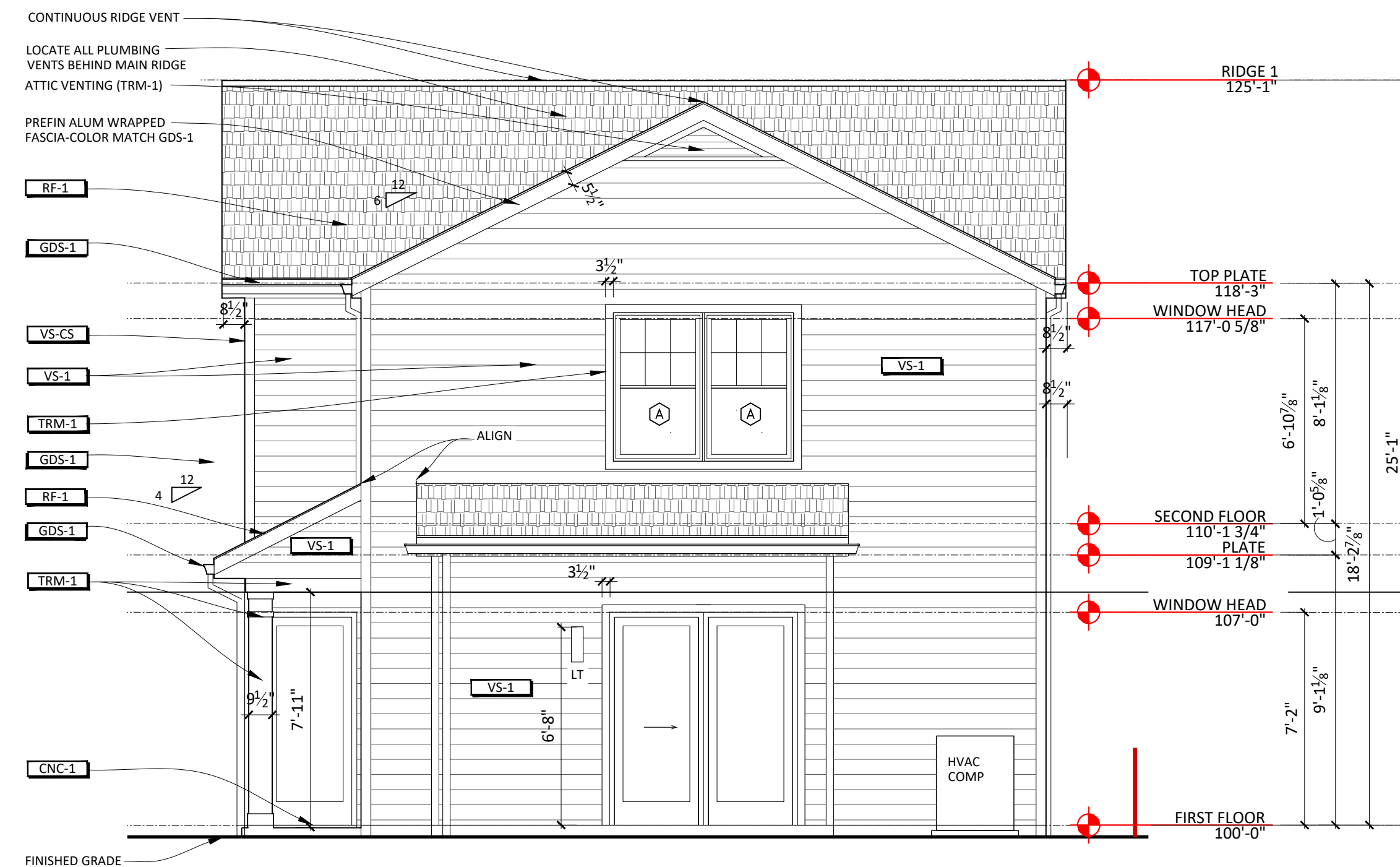
- RF-1 - DIMENSIONAL ASPHALT SHINGLE**
-MFR.: GAF, CERTAINTED, (OR APPROVED EQUAL)
-STYLE: T80
-COLOR: PER MATERIALS SHEET T0-01 (CHARCOAL GRAY)
-NOTE: TO BE INSTALLED OVER #30 ROOF FELT UNDERLAYMENT OR ICE & WATER PROTECTION MEMBRANE WHERE INDICATED TO ACHIEVE 30 YEAR WARRANTY MINIMUM - ALSO REFER TO ROOF PLAN.
- RF-2 - MEMBRANE ROOFING**
-TYPE.: EPDM OR TPO (OR APPROVED EQUAL)
-STYLE: SINGLE PLY 60 MIL
-COLOR: COOL ROOF RATED
-NOTE: TO BE INSTALLED OVER UNDERLAYMENT AND/OR ACHIEVE 30 YEAR WARRANTY MINIMUM - ALSO REFER TO ROOF PLAN.
- VS-1 - VINYL SIDING-CLAPBOARD**
-MFR.: ALSIDE (OR APPROVED EQUAL)
-STYLE: 5" CLAPBOARD
-COLOR: HARBOR BLUE PER OWNER'S SELECTION FROM FULL RANGE. REFERENCE SHEET T0-01 MATERIALS
-NOTE: INSTALLATION AS REQUIRED TO ACHIEVE MFR'S WARRANTY
- VS-2 - VINYL SIDING-CLAPBOARD ACCENT - N/A**
-MFR.: ALSIDE (OR APPROVED EQUAL)
-STYLE: 4" CLAPBOARD
-COLOR: PER OWNER'S SELECTION FROM FULL RANGE. REFERENCE SHEET T0-02 MATERIALS
-NOTE: INSTALLATION AS REQUIRED TO ACHIEVE MFR'S WARRANTY
- VS-CS - VINYL SIDING CORNER BOARD**
-MFR.: PROVIA OR ALSIDE (OR APPROVED EQUAL)
-STYLE: 1-1/4" TRADITIONAL SUPERCORNER
-COLOR: WHITE TO MATCH TRIM
-NOTE: INSTALLATION AS REQUIRED TO ACHIEVE MFR'S WARRANTY
- TRM-1 - PAINTED TRIM**
-MFR.: AZEK OR PER APPROVED SUBMITTAL
-STYLE: SMOOTH FINISH
-COLOR/STAIN: TO BE SELECTED BY OWNER TO MATCH WINDOW SYSTEM WHITE
-NOTE: ALL TRIM BOARDS TO BE 1x UNLESS OTHERWISE NOTED
- GDS-1 - PREFINISHED ALUMINUM GUTTER AND DOWNSPOUT**
-MFR.: (AS APPROVED BY OWNER)
-STYLE: 5" OGEE GUTTER/ 2X3 DOWNSPOUT
-COLOR: PREFINISHED WHITE (PER OWNER). REFERENCE SHEET T0-01 MATERIALS.
-NOTE: INSTALLATION AS REQUIRED TO ACHIEVE MFR'S WARRANTY
- CNC-1 - CONCRETE SLAB ON GRADE**
-MFR.: (AS APPROVED BY OWNER)
-STYLE: BROOM FINISH-PERPENDICULAR TO TRAVEL PATH
-COLOR: STANDARD - PROVIDE OWNER OPTION FOR INTEGRAL COLOR OR FINISHING
-NOTE: AIR ENTRAINED AT ALL EXTERIOR APPLICATIONS AND GARAGE SLAB



1
A2-01
EXTERIOR ELEVATION
FRONT (NORTH) ELEVATION
SCALE: 1/4" = 1'-0"



2
A2-01
EXTERIOR ELEVATION
DRIVEWAY (WEST) ELEVATION
SCALE: 1/4" = 1'-0"



3
A2-01
EXTERIOR ELEVATION
REAR (SOUTH) ELEVATION
SCALE: 1/4" = 1'-0"



4
A2-01
EXTERIOR ELEVATION
SIDE (EAST) ELEVATION
SCALE: 1/4" = 1'-0"

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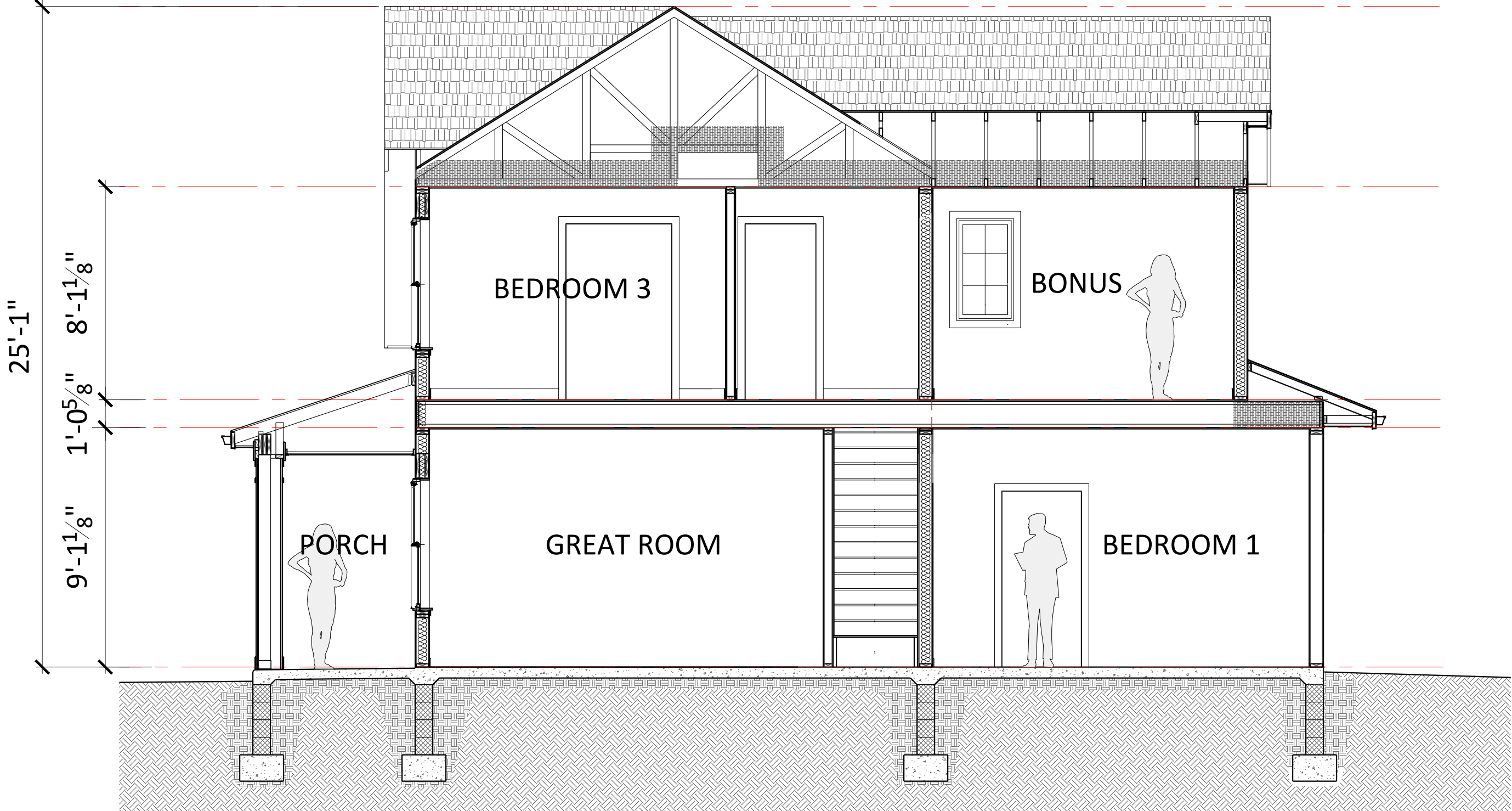
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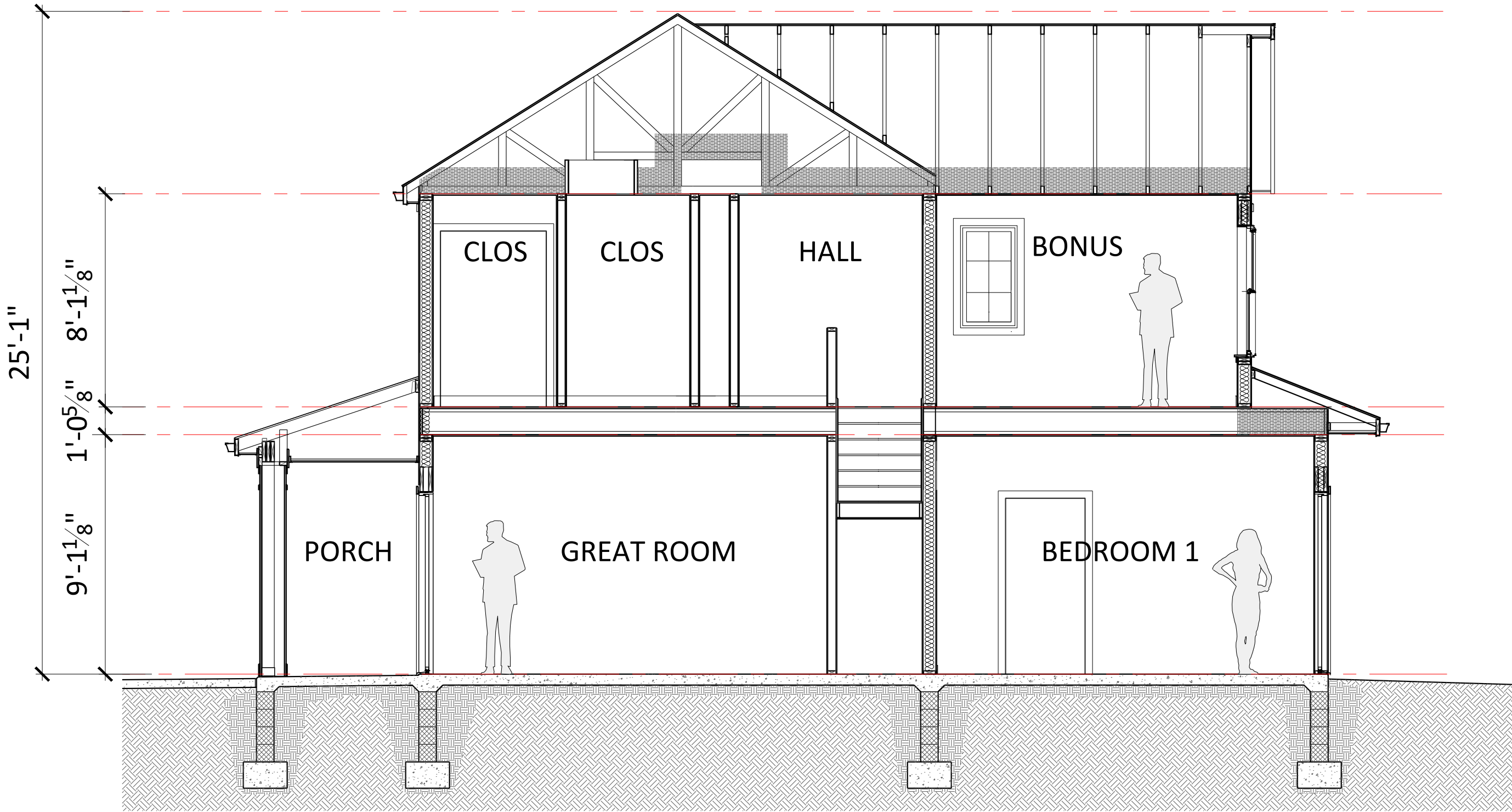
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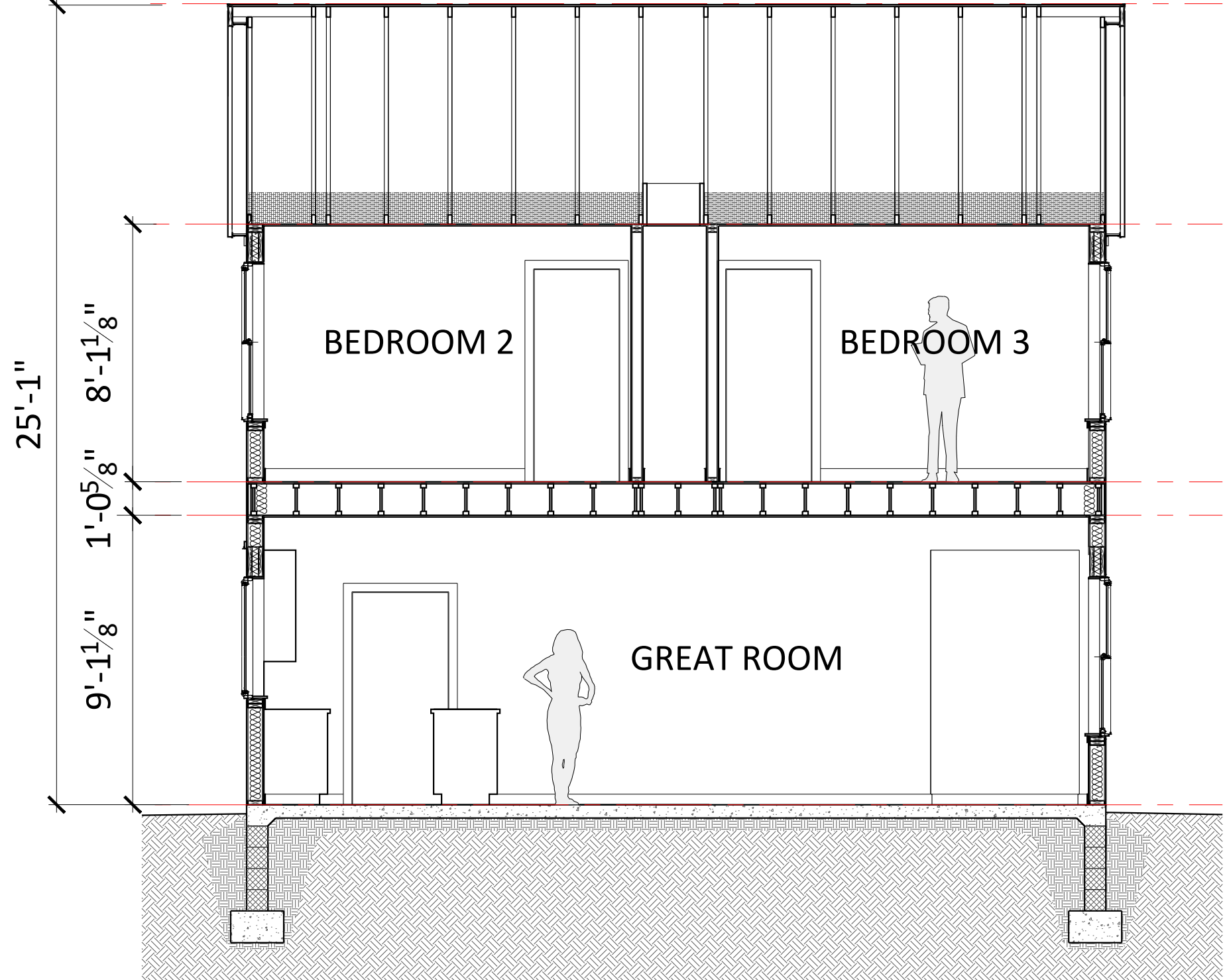
BUILDING SECTIONS 1



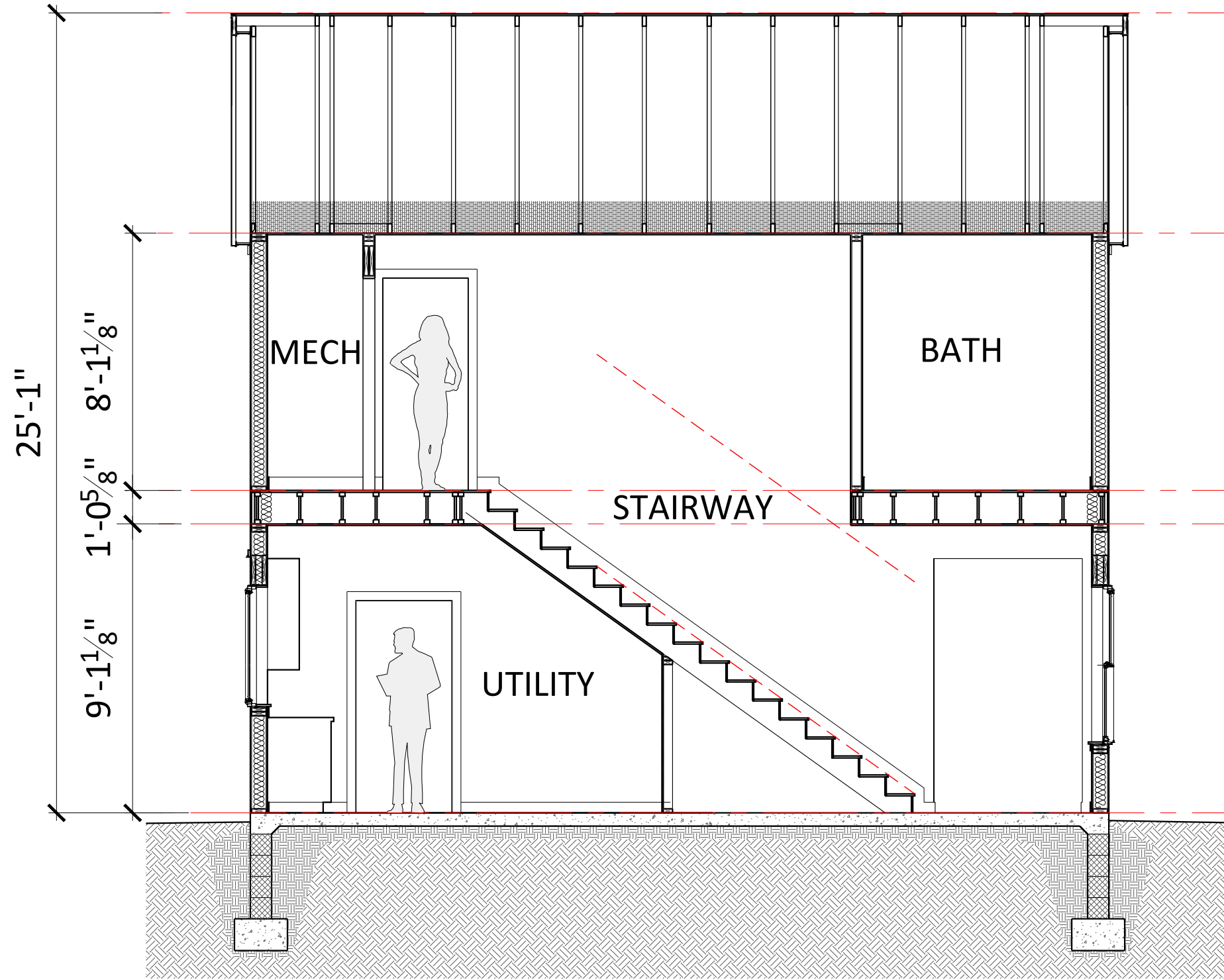
LONGITUDINAL SECTION 1



LONGITUDINAL SECTION 2

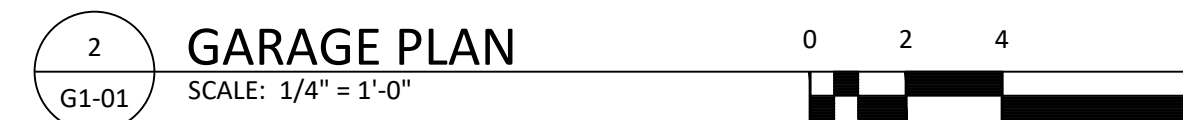
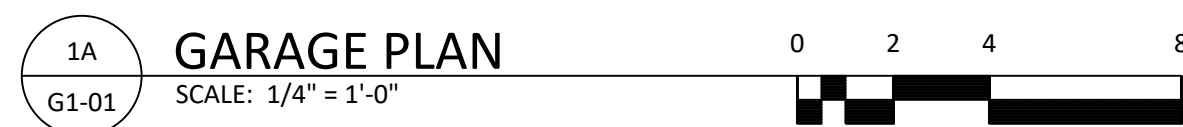


CROSS SECTION 1



CROSS SECTION 2

- LIGHT FRAMED TRUSSED W R-49 MIN, 24" O.C.
- 2X6 AT 16" O.C. EXTERIOR WALLS WITH R-19 MIN
- 12" TJIS AT 16" O.C.
- SLAB ON GRADE



EXTERIOR FINISH LEGEND

RF-1	-DIMENSIONAL ASPHALT SHINGLE -MFR.: GAF, CERTAINTED, (OR APPROVED EQUAL) -STYLE: TBD -COLOR: PER MATERIALS SHEET TO-01 (CHARCOAL GRAY) -NOTE: TO BE INSTALLED OVER #30 ROOF FELT UNDERLAYMENT OR ICE & WATER PROTECTION MEMBRANE WHERE INDICATED TO ACHIEVE 30 YEAR WARRANTY MINIMUM - ALSO REFER TO ROOF PLAN.
RF-2	-MEMBRANE ROOFING -TYPE: EPDM OR TPO (OR APPROVED EQUAL) -STYLE: SINGLE PLY 60 MIL -COLOR: COOL ROOF RATED -NOTE: TO BE INSTALLED OVER UNDERLAYMENT AND/OR ACHIEVE 30 YEAR WARRANTY MINIMUM - ALSO REFER TO ROOF PLAN.
VS-1	-VINYL SIDING-CLAPBOARD -MFR.: ALSIDE (OR APPROVED EQUAL) -STYLE: 5" CLAPBOARD. -COLOR: HARBOR BLUE PER OWNER'S SELECTION FROM FULL RANGE. REFERENCE SHEET TO-01 MATERIALS -NOTE: INSTALLATION AS REQUIRED TO ACHIEVE MFR'S WARRANTY
VS-2	-VINYL SIDING-CLAPBOARD ACCENT - N/A -MFR.: ALSIDE (OR APPROVED EQUAL) -STYLE: 4" CLAPBOARD -COLOR: PER OWNER'S SELECTION FROM FULL RANGE. REFERENCE SHEET TO-02 MATERIALS -NOTE: INSTALLATION AS REQUIRED TO ACHIEVE MFR'S WARRANTY
VS-CS	-VINYL SIDING CORNER BOARD -MFR.: PROVIA OR ALSIDE (OR APPROVED EQUAL) -STYLE: 1-1/4" TRADITIONAL SUPERCORNER -COLOR: WHITE TO MATCH TRIM -NOTE: INSTALLATION AS REQUIRED TO ACHIEVE MFR'S WARRANTY
TRM-1	-PAINTED TRIM -MFR.: AZEK OR PER APPROVED SUBMITTAL -STYLE: SMOOTH FINISH -COLOR/STAIN: TO BE SELECTED BY OWNER TO MATCH WINDOW SYSTEM WHITE -NOTE: ALL TRIM BOARDS TO BE 1x UNLESS OTHERWISE NOTED
GDS-1	-PRE-FINISHED ALUMINUM GUTTER AND DOWNSPOUT -MFR.: (AS APPROVED BY OWNER) -STYLE: 5" OGEE GUTTER/ 2X3 DOWNSPOUT -COLOR: PRE-FINISHED WHITE (PER OWNER). REFERENCE SHEET TO-01 MATERIALS -NOTE: INSTALLATION AS REQUIRED TO ACHIEVE MFR'S WARRANTY
CNC-1	-CONCRETE SLAB ON GRADE -MFR.: (AS APPROVED BY OWNER) -STYLE: BROOM FINISH-PERPENDICULAR TO TRAVEL PATH -COLOR: STANDARD - PROVIDE OWNER OPTION FOR INTEGRAL COLOR OR FINISHING -NOTE: AIR ENTRAINED AT ALL EXTERIOR APPLICATIONS AND GARAGE SLAB



SEAL:

NOT FOR CONSTRUCTION

[illegible]

C L E V E L A N D
D R A W
DESIGN & RESTORATION
ARCHITECTURE WORKSHOP

6107 Ellen Avenue
Cleveland, Ohio

Todt - Watkins
Prototype Housing to Accommodate:
**Single Family Small Lot
Residence**

TITLE: ONE CAR GARAGE

ISSUE: _____ DATE: **05.07.2025**

SHEET: **G1-01**